

FISHERS MILL APARTMENTS RENOVATION: BUILDING H

VANCOUVER, WASHINGTON

VANCOUVER HOUSING AUTHORITY

2500 MAIN STREET
VANCOUVER, WASHINGTON 98660
(T): (360) 993-9512
CONTACT: JIM DAVIS | jdavis@vhausa.com

TBD

GENERAL CONTRACTOR

CIDA, INC.

15895 SW 72ND AVE, SUITE 200
PORTLAND, OREGON 97224
(T): (503) 226-1285
CONTACT: ERIK WINTER (erikw@cidainc.com)

LEGAL DESCRIPTION AND ZONING SUMMARY

SITE ADDRESS:	1000 SE 160TH AVENUE VANCOUVER, WASHINGTON 98683
PROPERTY IDENTIFICATION NUMBER:	115292000
SECTION-TOWNSHIP-RANGE:	NW 1/4 S36, T2N, R2E & SW 1/4 S36, T2N, R2E
CITY:	VANCOUVER
COUNTY:	CLARK COUNTY
ZONING DESIGNATION:	HIGHER DENSITY RESIDENTIAL (R-22)
ZONING OVERLAY:	NONE
COMPREHENSIVE PLAN:	URBAN HIGH DENSITY RESIDENTIAL (UH)

BUILDING INFORMATION

YEAR BUILT:	1989
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	V-B, NON-SPRINKLERED
BUILDING HEIGHT:	(NO CHANGE)
NUMBER OF STORIES:	2 STORIES, (NO CHANGE)
BUILDING AREA:	EXISTING, (NO CHANGE)
SITE AREA:	EXISTING, (NO CHANGE)
CURRENT DESIGN CODE:	2015 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS (IBC)

PROJECT DESCRIPTION

IN BRIEF AND WITHOUT FORCE AND EFFECT ON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE PROJECT CONSISTS OF THE FOLLOWING: **THE WORK INCLUDES EXTERIOR IMPROVEMENT TO AN EXISTING TWO-STORY, WOOD FRAMED MULTI-FAMILY APARTMENT BUILDING INCLUDING REMOVAL AND REPLACEMENT OF EXISTING ASPHALT ROOFING, THE INSTALLATION OF NEW EXTERIOR SIDING NEW EXTERIOR SLIDING GLASS DOOR ASSEMBLIES AT LOCATIONS INDICATED IN THE DRAWINGS, AND NEW EXTERIOR PAINT.**

DEFERRED SUBMITTAL (DELEGATED DESIGN)

NOTE: DEFERRED SUBMITTAL(S) INDICATED BELOW WILL BE PREPARED BY OTHERS AND SUBMITTED UNDER SEPARATE COVER.

- I. NONE AT THIS TIME.

WORK UNDER SEPARATE CONTRACT(S) (BY OTHERS)

NOTE: DESIGN ELEMENTS INDICATED BELOW WILL BE PREPARED BY OTHERS

- I. NONE AT THIS TIME.

OCCUPIED STRUCTURES DISCLAIMER

THE WORK INCLUDES REPAIRS TO UNITS AND STRUCTURES THAT WILL BE OCCUPIED BY AND OPEN TO THE TENANTS DURING CONSTRUCTION. WHILE PERFORMING THE WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL, AT ALL TIMES, ADHERE TO THE FOLLOWING REQUIREMENTS, INCLUDING ANY AND ALL ADDITIONAL REQUIREMENTS THAT THE GOVERNING AUTHORITIES HAVING JURISDICTION MAY ALSO REQUIRE:

1. CONTRACTOR SHALL MAINTAIN AND NOT COMPROMISE THE EXISTING BUILDING'S VERTICAL AND LATERAL LOAD CAPACITY OF THE EXISTING STRUCTURE.
2. CONTRACTOR SHALL MAINTAIN AND NOT COMPROMISE THE STANDING BUILDING'S FIRE ALARMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS AND THE EXISTING FORMING ALARMS, EXSTANDING, SMOKE CONTROL SYSTEMS, EXIT SIGNS, EGRESS AND ELEVATOR EMERGENCY AND EVACUATION SAFETY FEATURES.
3. ANY PORTION(S) OF THE EXISTING STRUCTURE WHICH IS DETERMINED TO PROVIDE INADEQUATE STRUCTURAL INTEGRITY FOR FIRE PROTECTION, OR OCCUPANT LIFE SAFETY, MUST BE CLOSED TO THE TENANTS DURING THE TIME IN WHICH THE STRUCTURE IS BEING COMPROMISED. THE AFFECTED AREAS SHALL NOT BE RE-OPENED TO THE TENANTS UNTIL THE AUTHORITIES HAVING JURISDICTION DETERMINE THAT THE AFFECTED AREAS MEET THE REQUIREMENTS FOR STRUCTURAL INTEGRITY FOR FIRE PROTECTION AND OCCUPANT LIFE SAFETY.
4. IF IT IS DETERMINED THAT THE BUILDING OCCUPANT'S SAFETY CANNOT BE ACCOMPLISHED AT ALL TIMES, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE OWNER, ARCHITECT, AND THE AUTHORITIES HAVING JURISDICTION IN WRITING. THE CONTRACTOR SHALL PROVIDE TO THE OWNER, ARCHITECT, AND THE AUTHORITIES HAVING JURISDICTION A WRITTEN SCHEDULE OF TIMES OF CLOSURE TO THE TENANTS ALONG WITH THE PLANS ILLUSTRATING THE AREA AND/OR AREAS OF CLOSURE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH THE WORK.
5. CONTRACTOR IS SOLELY RESPONSIBLE FOR AND SHALL PROVIDE ALL NECESSARY SAFETY MEASURES TO PROTECT THE PUBLIC, THE BUILDING OCCUPANTS, AND THEIR EMPLOYEES DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO PROTECTION AND SAFEGUARDS TO PREVENT THE PUBLIC AND BUILDING TENANTS FROM ENTERING THE CONSTRUCTION AREAS AT ALL TIMES DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN EGRESS INCLUDING, BUT NOT LIMITED TO: EXIT STAIRWAYS, COMMON PATHS OF EGRESS, AND EXIT DISCHARGE AREAS, SHALL NOT BE USED BY CONSTRUCTION PERSONNEL DURING CONSTRUCTION FOR MATERIAL STAGING AND/OR THE REMOVAL OF CONSTRUCTION DEBRIS AND SHALL REMAIN UNOBSTRUCTED AND FULLY FUNCTIONAL IN EACH OF THEIR INTENDED USE DURING THE ENTIRETY OF THE CONSTRUCTION DURATION.
7. THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE SECTION 901.7 SHALL BE IMPLEMENTED UPON COMMENCEMENT OF CONSTRUCTION. IF ANY PART/PORTION OF THE EXISTING FIRE PROTECTION SYSTEM IS TAKEN OUT OF SERVICE AT ANY TIME DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN THE BUILDING'S ABILITY TO COMPLY WITH INTERNATIONAL FIRE CODE SECTION 901.7. THE REQUIREMENTS OF INTERNATIONAL FIRE CODE SECTION 901.7.4 SHALL BE MET IN THEIR ENTIRETY, INCLUDING, BUT NOT LIMITED TO THE NECESSARY NOTIFICATIONS.

FIRESTOPPING PLAN DESCRIPTION

IF EXISTING CONDITIONS REQUIRE INSTALLATION OF NEW FIRESTOPPING, THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUB-CONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF FIRESTOP MATERIALS/ASSEMBLIES WHICH WILL BE USED, THE TYPE OF PENETRATIONS WHERE EACH MATERIAL/ASSEMBLY WILL BE USED; AND THE LISTING AND APPROVAL INFORMATION (I.E. UL, ICC, OR OTHER APPROVED REPORT/LISTING NUMBERS). THIS INFORMATION MUST BE SUBMITTED TO, AND APPROVED BY, THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION.

ARCHITECTURAL GENERAL PROJECT NOTES

DISCLAIMER: THESE ARCHITECTURAL GENERAL NOTES SHALL APPLY TO THE ENTIRE PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE CONSTRUCTION DOCUMENTS.

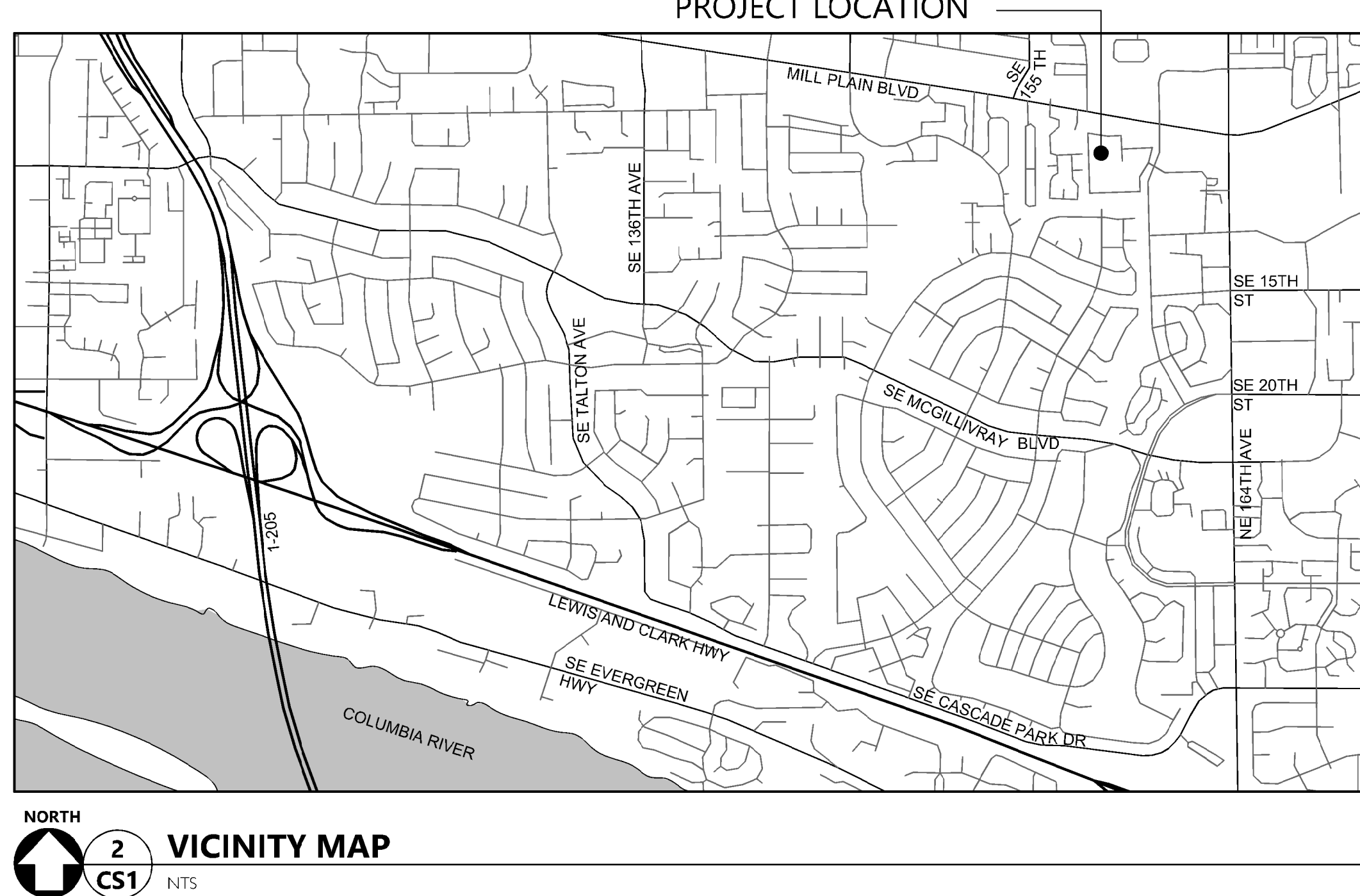
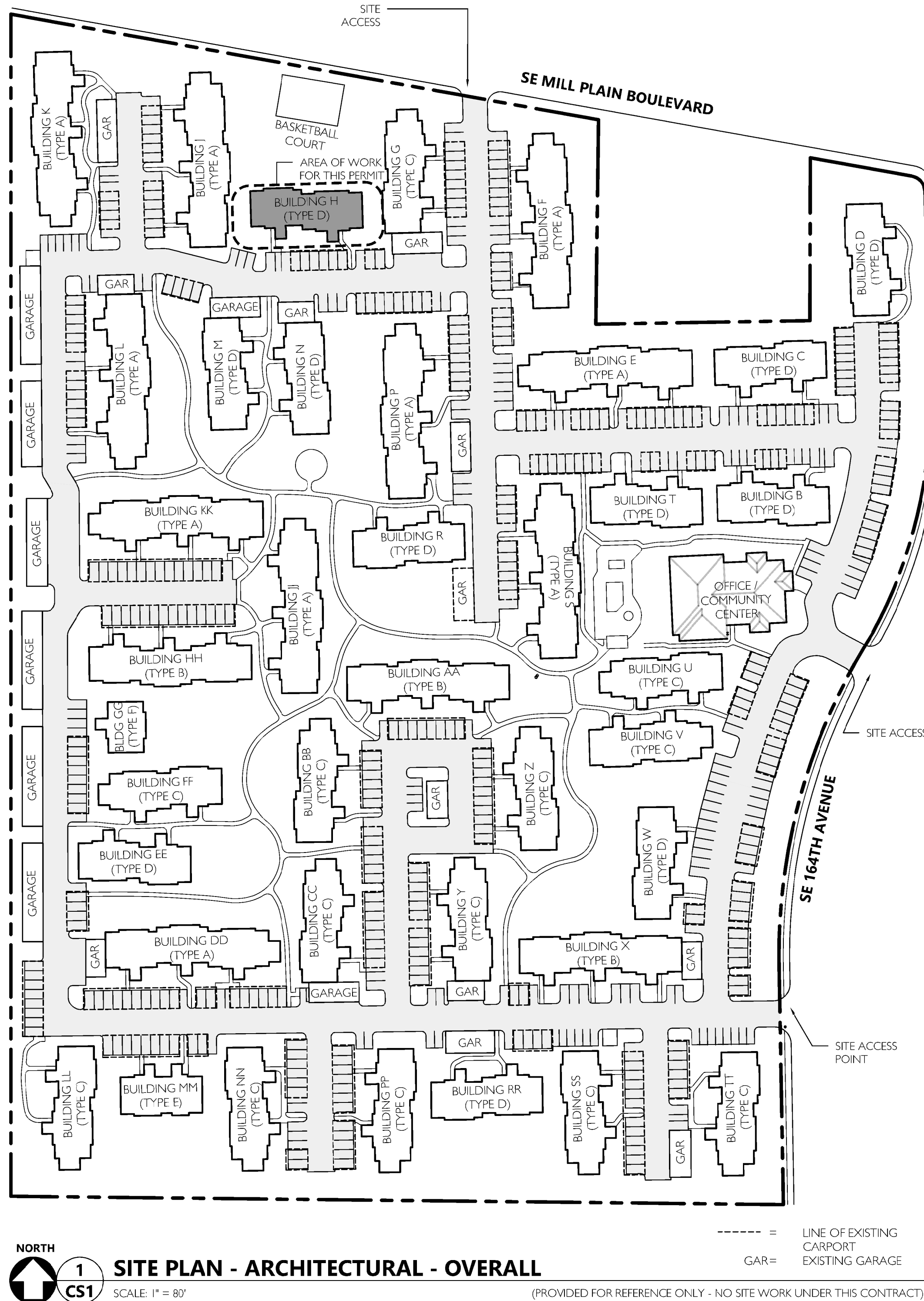
- A. ALL MATERIALS AND DESIGN SPECIFICATIONS CITED HEREIN SHALL CONFORM TO THE MOST RECENT BUILDING CODE AND FIRE CODE AS ADOPTED BY THE GOVERNING LOCAL AUTHORITIES HAVING JURISDICTION.
- B. ANY DISCREPANCY FOUND AMONG THE DRAWINGS, SPECIFICATIONS, THESE NOTES, AND ANY SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING TO THE ARCHITECT, WHO SHALL CLARIFY ANY DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK AND EXPENSE.
- C. SCOPE OF WORK LIMITED TO "AREA OF WORK" ILLUSTRATED IN CONTRACT DOCUMENTS.
- D. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER THOSE SHOWN GRAPHICALLY.
- E. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.
- F. THE ARCHITECTURAL DRAWINGS REPRESENT THE COMPLETED DESIGN INTENT AND ARE NOT INTENDED TO INDICATE THE MEANS AND METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, SECURITY AND SAFETY REQUIRED FOR THIS PROJECT.
- G. ALL DESIGN, BUILDING AND DETAIL ELEMENTS FOR CONSTRUCTION NOT FULLY SHOWN SHALL BE THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
- H. ALL PRODUCTS AND MATERIALS BEING PROVIDED AND INSTALLED BY THE CONTRACTOR SHALL BE APPLIED, PLACED, ERECTED OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- I. PROVIDE, FURNISH AND INSTALL ALL ITEMS INDICATED IN THE CONTRACT DOCUMENTS, COMPLETE AND READY FOR THEIR INTENDED USE, AT NO ADDITIONAL COST TO THE PROJECT.
- J. THESE DOCUMENTS CONTAIN NOTES TO WHICH MAY APPLY GENERALLY TO ALL DESIGN ELEMENTS, SPECIFICALLY TO ONE SHEET, OR SPECIFICALLY TO ONE OR MORE DESIGN ELEMENTS. THE NOTES ARE NOT HERE GUIDELINES. THEY ARE PART AND PARCEL OF THE DESIGN. ANY WORK THAT IS PERFORMED THAT IS NOT IN COMPLIANCE WITH THE NOTES IS NOT IN COMPLIANCE WITH THE DESIGN AND IS SUBJECT TO REJECTION. ANY ALTERATION, MODIFICATION, DELETION, OR ADDITION TO THE NOTES BY WRITING, ACT OR FAILURE TO ACT, SHALL BE CARRIED OUT ONLY WITH THE PRIOR EXPRESS WRITTEN CONSENT AND APPROVAL OF THE ARCHITECT.
- K. DRAWINGS AND DETAILS ARE MEANT TO INDICATE GENERAL DESIGN INTENT AND SHOW ASSEMBLIES OF STRUCTURAL AND NON-STRUCTURAL MEMBERS, JOINTS, SHIMS, CONNECTIONS, ETC. COORDINATE WITH OTHER CONTRACT DOCUMENTS FOR COMPLETE SYSTEMS AND ASSEMBLY INFORMATION. ANY ITEMS NOT SHOWN, BUT NECESSARY FOR A COMPLETE AND FINISHED PRODUCT ARE TO BE CONSIDERED PART OF EACH DETAIL AND SHALL BE INCLUDED IN THE CONSTRUCTION TO MEET INDUSTRY STANDARDS.
- L. PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY THE GOVERNING AUTHORITY HAVING JURISDICTION.
- M. CONTRACTOR SHALL PROTECT ALL EXTERIOR EXPOSED WORK BEING INSTALLED IN WEATHER TIGHT MANNER.
- N. ALL CONSTRUCTION SHALL BE COMPLETED AND CURBLED TO THE SATISFACTION OF THE GOVERNING AUTHORITIES HAVING JURISDICTION. MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- O. WHERE AN EMERGENCY AND STANDBY SYSTEM IS REQUIRED BY THE GOVERNING AUTHORITY HAVING JURISDICTION, THE ENTIRE SYSTEM SHALL COMPLY WITH THE CURRENT EDITION OF THE GOVERNING CODE(S) REQUIREMENT(S).
- P. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FEET AS SPECIFIED BY THE STRUCTURAL ENGINEER OF RECORD.
- Q. DURING ALL HIGH OR DRILLING OR CUTTING OR LOAD BEARING STUDS WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.
- R. PROVIDE BLOCKING, BACKING, FRAMING WITHIN ALL WALLS HAVING WALL MOUNTED FIXTURES, ACCESSORIES, FURNISHINGS AND EQUIPMENT.
- S. PROVIDE VENTING FOR ALL CONCEALED SPACES PER BUILDING CODE.
- T. ALL INSULATION AND FINISH MATERIALS INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS OF THE MOST RESTRICTIVE PREVAILING BUILDING CODE FOR SMOKE DENSITY AND FLAME SPREAD.
- U. PROVIDE WEATHER BARRIER MATERIALS AS REQUIRED FOR WATERTIGHT CONSTRUCTION. PROVIDE TEMPORARY COVER AS NECESSARY TO PREVENT WATER INFILTRATION INTO THE BUILDING INTERIOR OR WIND DAMAGE DURING CONSTRUCTION.
- V. PROVIDE SEPARATION BETWEEN DISSIMILAR METALS.
- W. ALL METAL FLASHING EDGES SHALL BE HEMMED UNLESS NOTED OTHERWISE.
- X. ALL EXPOSED EXTERIOR STEEL SHAPES AND FLASHING SHALL BE GALVANIZED AND PRIMED AND PAINTED, UNLESS OTHERWISE NOTED.
- Y. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE ACCESSIBILITY REQUIREMENTS WHICH ARE PERTINENT TO THIS PROJECT. INFORMATION PROVIDED HEREIN ARE NOT MEANT TO SUPERSEDE THE BUILDING CODE OR AUTHORITIES HAVING JURISDICTION CONCERNING ACCESSIBILITY REQUIREMENTS.
- Z. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF CAD DRAWINGS OF THE CONTRACT DRAWINGS MAY BE PROVIDED BY ARCHITECT AT ITS DISCRETION FOR CONTRACTOR'S USE IN PREPARING SUBMITTALS. THE CONTRACTOR SHALL NOT ASSUME THAT THE ARCHITECT WILL BE RELEASING SAID FILES.

ARCHITECTURAL GENERAL DEMOLITION NOTES

- A. CONTRACTOR SHALL PROTECT PROJECT WORK AREA, OWNER'S AND/OR TENANT'S PROPERTY (BOTH NEW AND EXISTING), BUILDING MATERIALS AND ANY FINISHES, FIXTURES AND EQUIPMENT FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGES TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO COST TO THE OWNER OR TENANT PRIOR TO SUBSTANTIAL COMPLETION. REGENTS SHALL BE SOLELY RESPONSIBLE FOR REMOVAL OF PERSONAL ITEMS FROM THEIR RESIDENTIAL UNITS PRIOR TO THE START OF DEMOLITION AND RECONSTRUCTION.
- B. WHERE NOT INDICATED ON DRAWINGS, OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR EQUIPMENT AND MATERIALS REMOVED DURING DEMOLITION AND WILL PROMPTLY REMOVE SELECTED ITEMS. SALVAGEABLE / RECYCLABLE EQUIPMENT AND MATERIALS SHALL BE STOCKPILED AT AN OWNER PROVIDED ON-SITE LOCATION FOR FUTURE USE / RECYCLING. ALL OTHER NON-RECYCLABLE MATERIALS ARE TO BE REMOVED DAILY. FEE ASSOCIATED WITH DISPOSAL SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID.
- C. WHERE NOT INDICATED ON DRAWINGS, ALL ITEMS NOT REUSED FOR NEW CONSTRUCTION ARE TO BE RECYCLED TO THE MAXIMUM EXTENT ALLOWED PER LOCAL CODE. VERIFY WHICH ITEMS TO BE REUSED WITH BUILDING OWNER AND ARCHITECT PRIOR TO REMOVAL.
- D. SELECTIVE DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USE FACILITIES.
- E. EXISTING MEANS OF EGRESS SHALL BE MAINTAINED (UNOBSTRUCTED AND FUNCTIONAL) THROUGHOUT THE ENTIRE BUILDING AT ALL TIMES DURING CONSTRUCTION.
- F. EXISTING EXIT SIGNAGE AND EMERGENCY LIGHTING TO REMAIN, UNLESS OTHERWISE NOTED.
- G. EXISTING MEANS EGRESS, EGRESS ASSEMBLIES TO REMAIN, OBTAIN EXISTING FIRE AND SMOKE RATINGS(S) AND EGRESS HARDWARE (WHERE NOT INDICATED TO BE REMOVED AND/OR REPLACED), AND SIGNAGE.
- H. EXISTING PRIMARY STRUCTURE ELEMENTS - BEAMS, COLUMNS, BEARING WALLS, SHEAR WALLS, ETC. - AND ASSOCIATED ASSEMBLIES TO REMAIN.
- I. WHERE PLANS CALL FOR DEMOLITION OF WALLS, OR FINISHES) ADJACENT TO EXISTING ASSEMBLIES TO REMAIN, PATCH & REPAIR EXISTING SURFACES THAT REMAIN TO MAINTAIN CURRENT FIRE AND SMOKE RATINGS(S) AND AESTHETIC APPEARANCE OF ASSEMBLY.

RCW 64.55 STATEMENT

RCW 64.55 IRREVOCABLE COVENANT STATEMENT: VANCOUVER HOUSING AUTHORITY ("OWNER") WILL PRIOR TO THE CITY OF VANCOUVER'S FINAL INSPECTION FOR THIS PROJECT'S SCOPE OF WORK, RECORD AN IRREVOCABLE COVENANT WITH CLARK COUNTY, WASHINGTON FOR THE PROJECT TO SATISFY THE REQUIREMENTS OF RCW 64.55 THROUGH 64.59. THE OWNER AGREES TO TERMINATE THE COVENANT ON THE DATE OF THE DWELLING UNIT IN OR ON THE PROJECT SITE MAY BE SOLD AS A CONDOMINIUM UNIT EXCEPT FOR SALES LISTED IN RCW 64.34(40). THIS COVENANT WILL TERMINATE ON THE EARLIER OF EITHER: (A) COMPLIANCE WITH THE REQUIREMENTS OF RCW 64.55.90, AS CERTIFIED BY THE OWNER OF THE PROPERTY IN A RECORDED SUPPLEMENT TO THE COVENANT; OR (B) THE TWENTY-FIFTH ANNIVERSARY OF THE DATE OF FIRST OCCUPANCY OF A DWELLING UNIT AS CERTIFIED BY THE OWNER IN A RECORDED SUPPLEMENT TO THE RECORDED COVENANT.



12033
REGISTERED
ARCHITECT
ERIK J. WINTER
STATE OF WASHINGTON

NOTED: CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN OR IMPLIED AND NOTIFY ARCHITECT AND/OR ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES PRIOR TO START OF WORK.

KEY PLAN (NTS)

N

CIDA

ARCHITECTURE
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PLANNING
INTERIORS

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RENOVATION FOR:
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1000 SE 160TH AVE
VANCOUVER, WASHINGTON 98683

COVER SHEET

CSI

JOB NO. 190393.01

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A. REFER TO GENERAL PROJECT NOTES ON **SHEET C51** FOR ADDITIONAL REQUIREMENTS.

B. REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZE(S).

C. PREPARE ALL EXISTING AND NEW EXTERIOR CLADDING AND TRIM FOR NEW PAINT - REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

D. PREPARE FLOOR AND WALL SURFACES FOR NEW FINISHES, WHERE INDICATED. INSTALL FINISHES PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

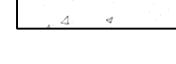
E. REMOVE ALL EXISTING GUTTERS AND DOWNSPOUTS, TYPICAL. PREPARE EXISTING SUBSTRATES FOR INSTALLATION OF NEW GUTTER AND DOWNSPOUT ASSEMBLIES. PROVIDE AND INSTALL TEMPORARY DOWNSPOUTS AT THE END OF EACH WORK DAY.

F. CONTRACTOR TO FIELD VERIFY AND CONFIRM EXISTING AND PROPOSED DOWNSPOUT CONNECTION POINTS AT GRADE PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT, IN WRITING, IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED IN THESE CONTRACT DOCUMENTS.

G. AT AREAS OF WORK:

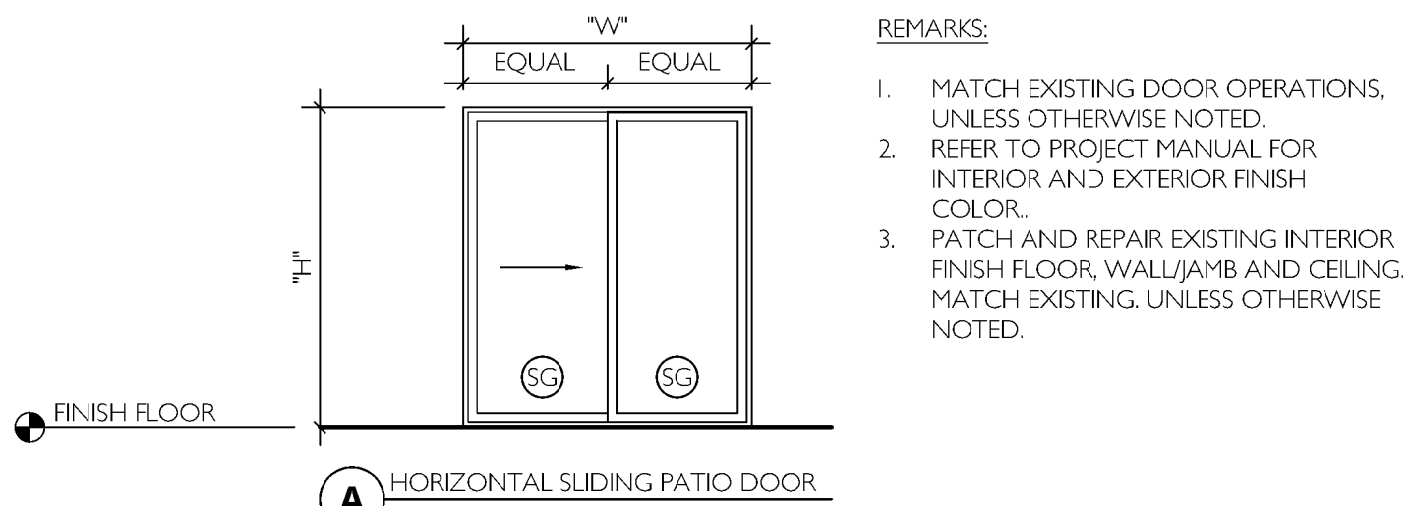
1. MAINTAIN EXISTING RATED WALL ASSEMBLIES, INCLUDING FULL-HEIGHT RATED DWELLING UNIT DEMISING WALLS, AND EXISTING DRAFT STOPPING ASSEMBLIES AT ATTIC.
2. ASSEMBLY COMPONENTS SHOWN IN REFERENCED DETAILS MAY REFLECT THE MAJOR CONSTRUCTION MATERIALS; ADDITIONAL AND ALTERNATE MATERIALS MAY BE INDICATED IN REFERENCED ASSEMBLIES.
3. MAINTAIN STRUCTURAL FIRE RATING AND STC RATING AT ALL PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND CONDENSATION, AND SMOKE AND SMOKE SMOKE SYSTEMS. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES, LOCAL AUTHORITIES HAVING JURISDICTION OR OWNER REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
4. PROVIDE VERTICAL AND HORIZONTAL FIRE BLOCKING AS REQUIRED BY CODE AT AREAS OF WORK; AND
5. ALL FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES. ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED PER THE GOVERNING CODE REQUIREMENTS. THE FOLLOWING DOOR NOTICES SHALL APPLY TO ALL SLIDING PATIO DOOR LOCATIONS:
SINGLE SWINGING DOOR: 1 1/2" MIN. CLEARANCE AND 1 1/2" MIN. GROUND OUT-TO-OUT FRAME (WIDTH X HEIGHT). FIELD VERIFY EXISTING OPENINGS PRIOR TO ORDERING AND INSTALLATION OF NEW DOOR ASSEMBLIES.
6. ENSURE PREPARE INSTALLATION AND OPERATION OF DOORS AND HARDWARE COMPLIANT WITH CURRENT ADA, ANSI, AND BUILDING CODE REQUIREMENTS WHERE RATED OPENINGS ARE REQUIRED. ALL DOOR HARDWARE SHALL ALSO MEET ALL BUILDING AND FIRE CODE REQUIREMENTS.
7. MATCH EXISTING DOOR OPERATION AND CONFIGURATION, UNLESS OTHERWISE NOTED.
8. PROVIDE MAINTAINING CLEARANCES AT DOORS AS REQUIRED FOR ACCESSIBILITY COMPLIANCE PER FEDERAL ACCESSIBILITY REQUIREMENTS.
9. GLAZING USED IN DOORS AND GLAZING LOCATED WITHIN A 24-INCH ARC OF THE NEAREST VERTICAL EDGE OF A DOOR AND UP TO 60-INCHES ABOVE FINISH FLOOR AND AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL HAVE APPROVED SAFETY GLAZING MATERIAL AS DEFINED BY THE AUTHORITIES HAVING JURISDICTION. ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED AND AFFIXED TO THE ASSEMBLY WITH THE MANUFACTURER'S NAME AND TEST APPROVAL INFORMATION.
10. SINGLE SWINGING DOOR: 1 1/2" MIN. CLEARANCE AND 1 1/2" MIN. GROUND OUT-TO-OUT FRAME (WIDTH X HEIGHT).
11. ALL GLAZING SHALL BE CLEAR, UNLESS OTHERWISE NOTED.
12. ALL EXTERIOR DOOR AND WINDOW GLAZING SHALL BE THERMAL INSULATING, WITH SPACE BETWEEN GLAZING TO BE FILLED WITH ARGON GAS, UNLESS NOTED OTHERWISE.
13. DOORS WHERE HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ARE PROVIDED SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 3/4-INCHES MINIMUM AND 5-INCHES MAXIMUM ABOVE THE FLOOR, WHERE LOCKS ARE BEING PROVIDED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION THEY WILL BE PERMITTED AT ANY LOCATION.
14. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
15. REFER TO PROJECT MANUAL FOR ADDITIONAL DOOR AND DOOR HARDWARE REQUIREMENTS.

NOTE: NOT ALL SYMBOLS AND ABBREVIATIONS MAY BE USED ON THIS PROJECT.

B.O.	BOTTOM OF		EXISTING WALL ASSEMBLY TO REMAIN
CLR	CLEAR		NEW WALL ASSEMBLY
D.O.	DOOR OPENING (NOMINAL)		EXISTING RATED DWELLING UNIT DEMISING WALL TO REMAIN
(E)	EXISTING		
H	HEIGHT (NOMINAL)		
NTS	NOT TO SCALE		EXISTING CONCRETE SLAB-ON-GRADE PATIO
OTO	OUT TO OUT		
T.O.	TOP OF		EXISTING UNIT DECK TRAFFIC COATING
TYP.	TYPICAL		
W	NOMINAL OPENING WIDTH		
	SAFETY GLAZING		
	NEW DOWNSPOUT AT EXISTING GRADE CONNECTION		

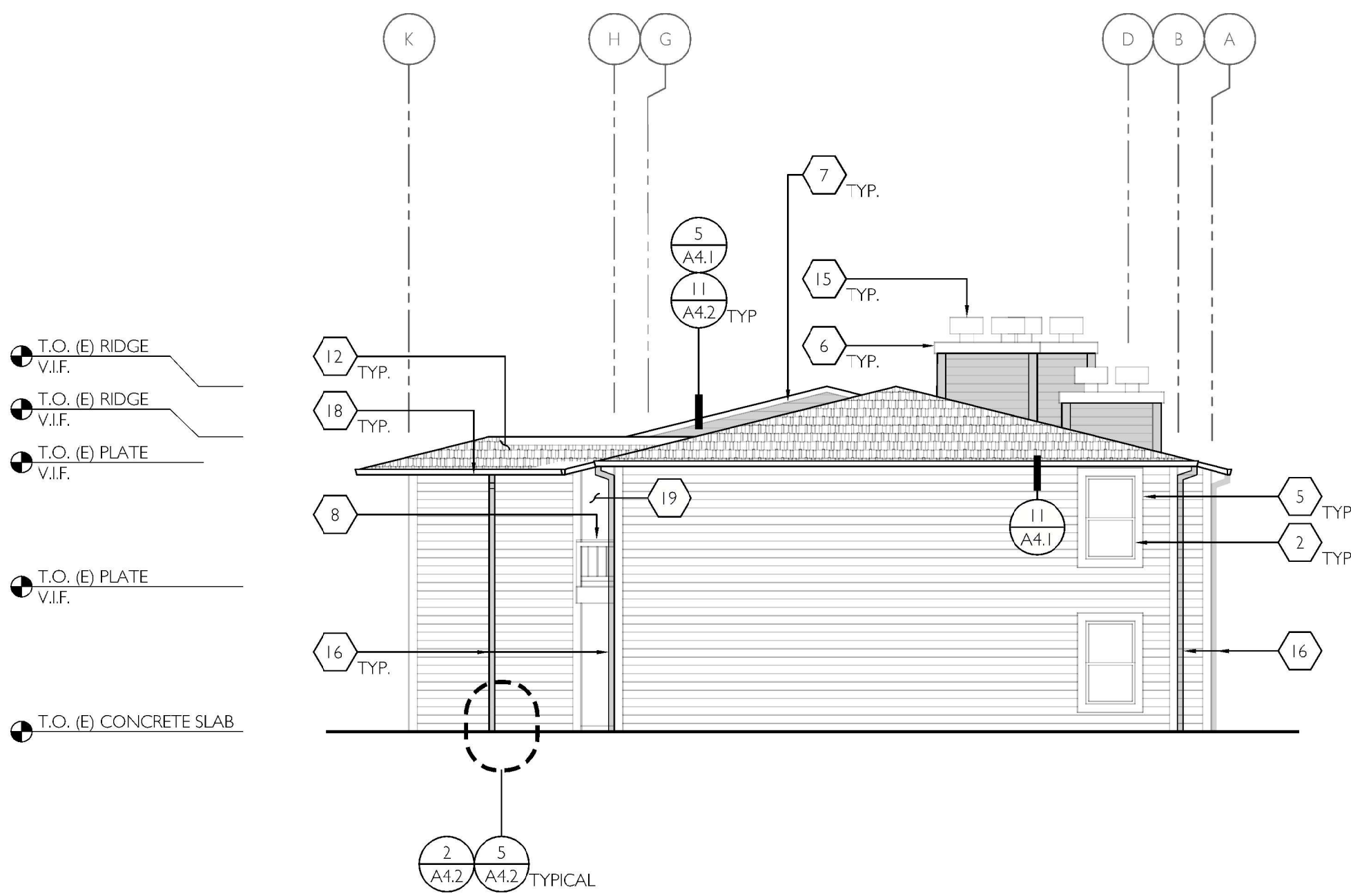
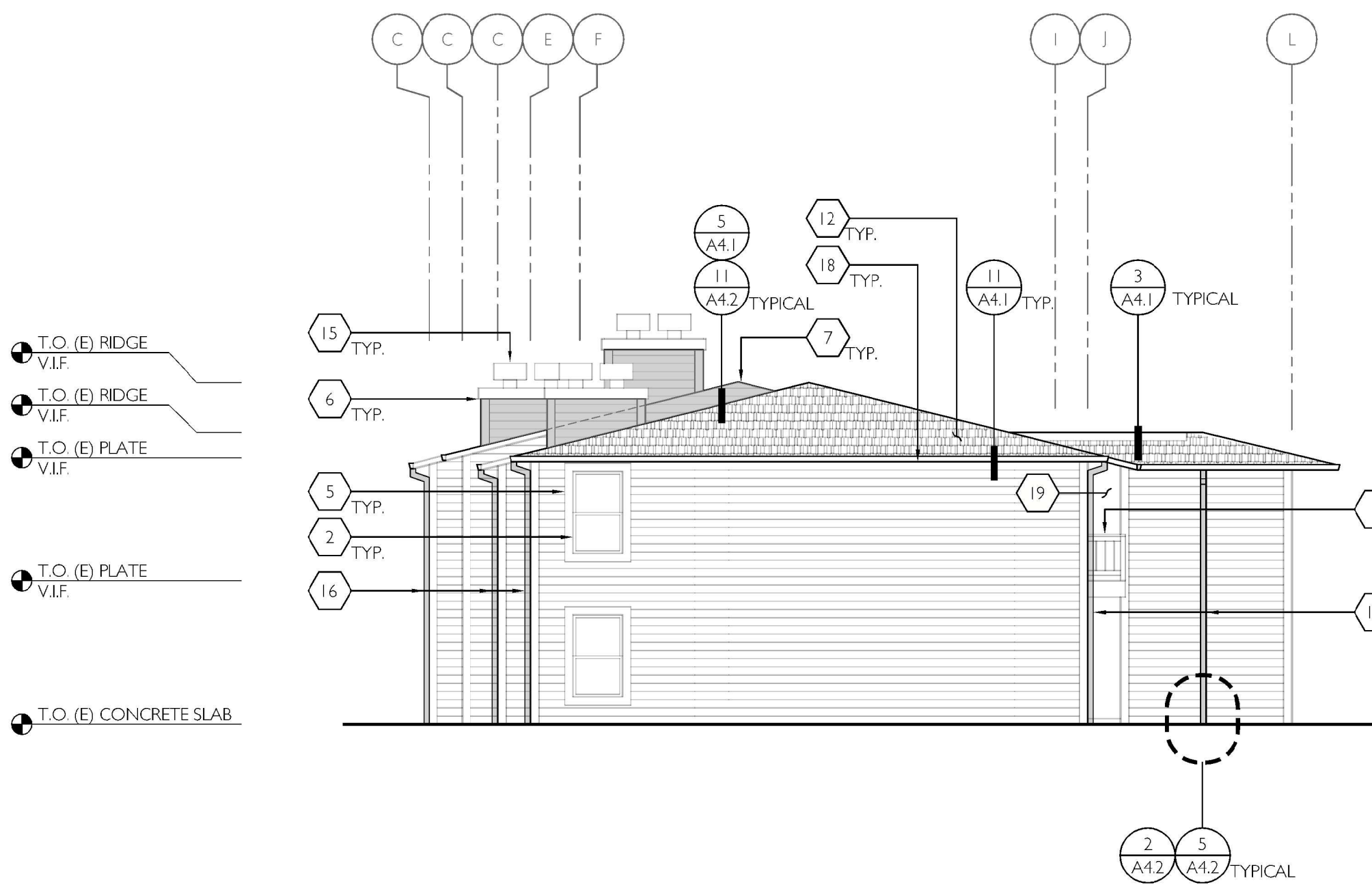
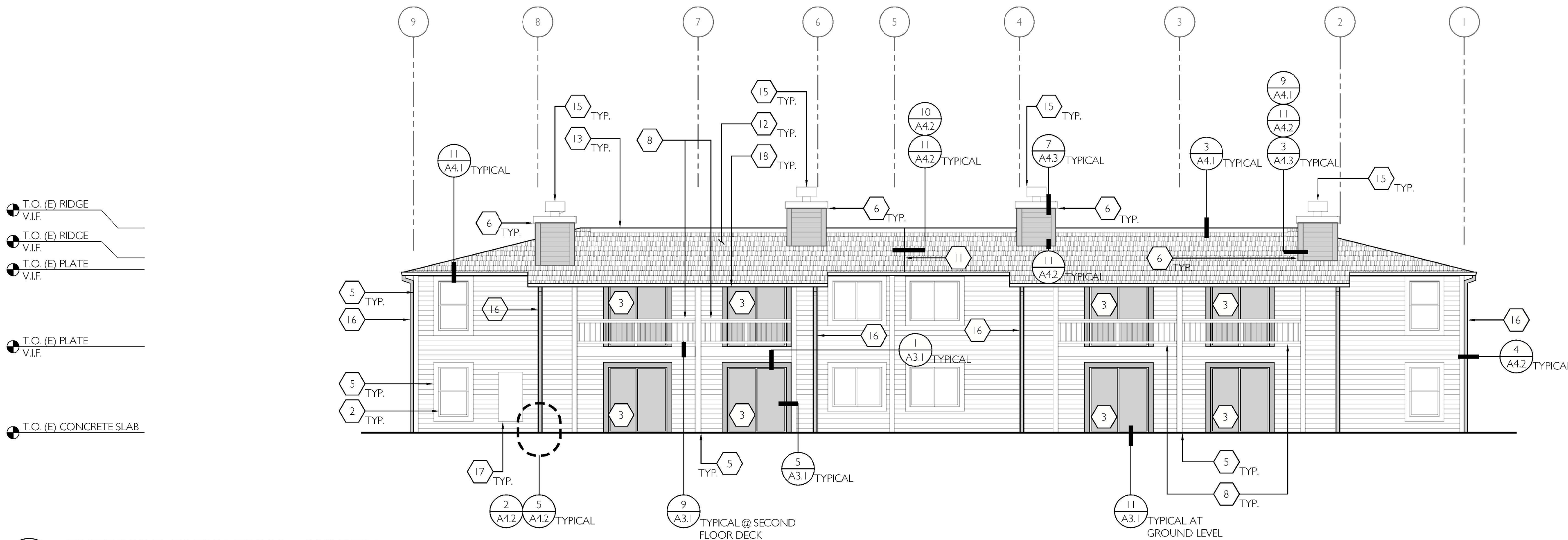
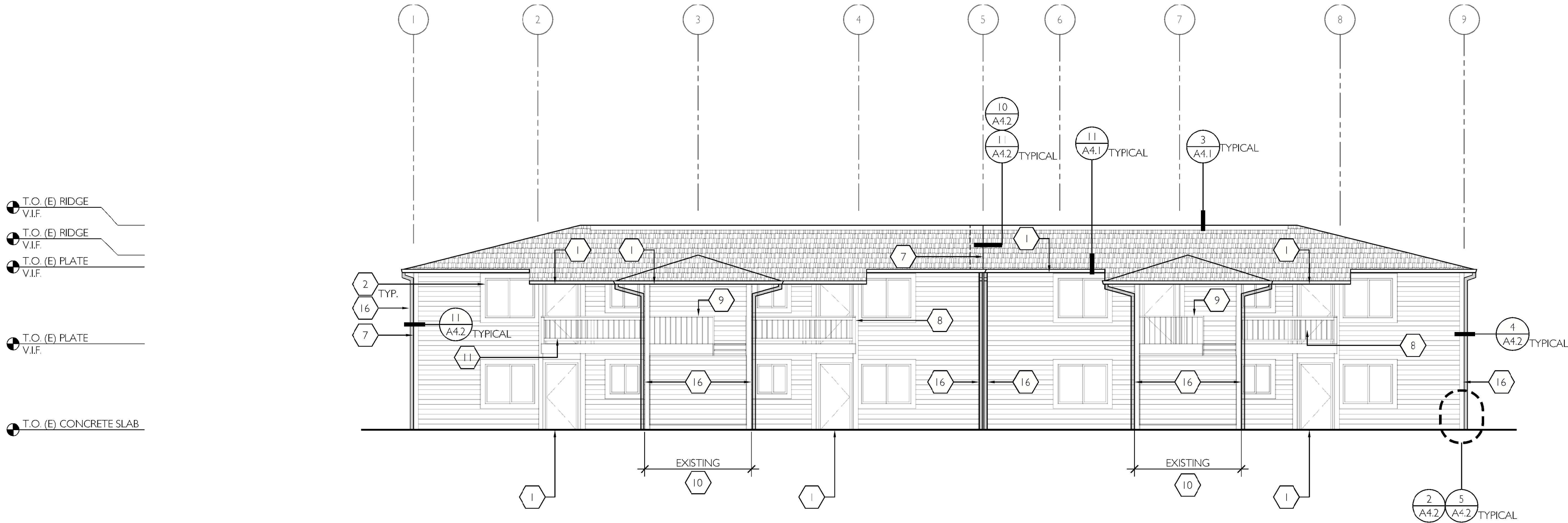
1. REMOVE EXISTING SLIDING DOOR ASSEMBLY. REPLACE WITH NEW SLIDING DOOR ASSEMBLY. PATCH AND REPAIR
2. INTERIOR FINISHES - MATCH EXISTING UNLESS OTHERWISE NOTED.
3. EXISTING DAWLING UNIT DECK WITH TYPICAL COATING - PROTECT EXISTING DECK TYPICAL COATING FROM
4. DAMAGE DURING PERFORMANCE OF THE WORK.
5. NEW DOWNSPOUTS TO BE CONNECTED TO EXISTING CONNECTION AT GRADE - VERIFY AND CONFIRM LOCATIONS,
6. QUANTITIES, AND CONFIGURATIONS IN FIELD PRIOR TO CONSTRUCTION.
7. EXISTING GUARDRAIL ASSEMBLY TO REMAIN - PREPARE FOR NEW PAINT, TYPICAL.
8. NOT USED.
9. EXISTING DOOR ASSEMBLY TO REMAIN, TYPICAL (N.I.C).
10. EXISTING WINDOW ASSEMBLY TO REMAIN, TYPICAL (N.I.C).
11. EXISTING SLAB-CN-GRADE TO REMAIN, TYPICAL (N.I.C).
12. EXISTING STAIR ASSEMBLY TO REMAIN - PREPARE EXISTING EXPOSED STEEL COMPONENTS TO RECEIVE NEW PAINT.

DOOR SCHEDULE												
DOOR No.	ROOM NAME	DOOR					FRAME			FIRE RTG	RMRS	
		DOOR TYPE	HDWRE GROUP	OPENING W x H	DOOR THKNS	DOOR MTRL	DOOR FINISH	FRAME TYPE	FRAME MTRL			FRAME FINISH
FIRST FLOOR												
H57-A	UNIT H57	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3
H59-A	UNIT H59	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3
H61-A	UNIT H61	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3
H63-A	UNIT H63	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3
SECOND FLOOR												
H58-A	UNIT H58	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3
H60-A	UNIT H60	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3
H62-A	UNIT H62	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3
H64-A	UNIT H64	A	MANUF	6'-0" x 6'-8"	MANUF	VINYL	MANUF	-	VINYL	MANUF	-	1, 2, 3



A1.1 1/4" = 1'-0"

Updated: 10/20/2021 Path: \\Renovation\Arch\Projects\2020\101 - 10101.dwg, Plot: 10/20/2021, 10:00am



GENERAL SHEET NOTES

- THESE GENERAL NOTES SHALL APPLY TO THE ENTIRE PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE CONTRACT DOCUMENTS.
- REFER TO GENERAL PROJECT NOTES ON **SHEET C51** FOR ADDITIONAL REQUIREMENTS.
- COORDINATE NEW DOWNSPOUT LOCATIONS WITH EXISTING CONNECTIONS AT GRADE - NOTIFY ARCHITECT, IN WRITING, IF EXISTING CONDITIONS DIFFER FROM WHAT IS ILLUSTRATED IN THESE CONTRACT DOCUMENTS.
- PATCH AND REPAIR EXISTING DAMAGED FIBER CEMENT CLADDING, WHERE OCCURS, NOTIFY OWNER AND ARCHITECT FOR APPROVAL, IN WRITING, WHERE EXISTING CLADDING REQUIRES REPLACEMENT AND/OR REPAIR PRIOR TO COMMENCING WORK.
- NEW TRIM SHALL MATCH EXISTING SIZES, UNLESS OTHERWISE NOTED, AND SHALL BE MADE TO FIT WITHIN THE EXISTING CONDITIONS, CONTRACTOR TO FIELD VERIFY ALL CONDITIONS ASSOCIATED WITH WORK DESCRIBED WITHIN THESE CONTRACT DRAWINGS PRIOR TO COMMENCING WORK.
- WHERE EXISTING HORIZONTAL VERTICAL RUNNING, AND ROOF RAKE/EAVE TRIM IS INDICATED TO BE REMOVED AND REPLACED, OR WERE EXISTING TRIM IS FOUND TO BE DAMAGED AT THE AREA(S) OF WORK, REMOVE FULL LENGTH OF TRIM, FROM ADJACENT VERTICAL TRIM/BUILDING ELEMENT TO ADJACENT VERTICAL TRIM/BUILDING ELEMENT.
- EXISTING APPURTENANCE PENETRATIONS ARE NOT SHOWN ON EXTERIOR ELEVATIONS.
- EXISTING ROOF PENETRATIONS ARE NOT SHOWN ON EXTERIOR ELEVATIONS.
- PREPARE ALL FINISH CLADDING (SIDING, TRIM, EXPOSED FLASHING MEMBERS) TO RECEIVE NEW EXTERIOR PAINT.
- PREPARE ALL GUARDRAIL AND STAIR ASSEMBLIES (WOOD AND METAL) TO RECEIVE NEW EXTERIOR PAINT.
- PREPARE ALL DWELLING UNIT ENTRY DOORS TO RECEIVE NEW EXTERIOR PAINT.

LEGEND

- EXISTING LAP SIDING TO REMAIN
- NEW LAP SIDING - MATCH EXISTING
- NEW ASPHALT COMPOSITION ROOFING
- TYP. TYPICAL

KEYNOTES

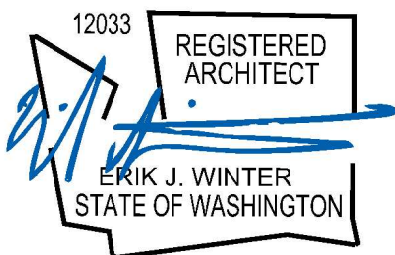
- EXISTING DWELLING UNIT ENTRY DOOR - PREPARE FOR NEW PAINT, TYPICAL.
- EXISTING WINDOW TO REMAIN.
- NEW SLIDING PATIO DOOR - REFER TO **A3 SERIES** DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING LAP SIDING TO REMAIN, TYPICAL UNLESS OTHERWISE NOTED - PREPARE FOR NEW PAINT.
- EXISTING TRIM TO REMAIN, TYPICAL UNLESS OTHERWISE NOTED - PREPARE FOR NEW PAINT.
- NEW LAP SIDING AT CHIMNEY'S, TYPICAL.
- NEW LAP SIDING AT GABLE / RAKE ENDS ADJACENT TO NEW ASPHALT ROOFING, TYPICAL.
- EXISTING WOOD GUARDRAIL SYSTEM TO REMAIN - PREPARE FOR PAINT.
- EXISTING METAL GUARDRAIL SYSTEM TO REMAIN - PREPARE FOR PAINT.
- EXISTING STAIRS TO REMAIN - PREPARE EXPOSED STEEL FOR NEW PAINT.
- EXISTING CHANGE IN ROOF PLANE TO REMAIN.
- NEW ASPHALT ROOFING, TYPICAL.
- NEW RIDGE VENT - REFER TO ROOF PLANS.
- NEW ASPHALT ROOFING AT ROOF (BEYOND).
- EXISTING CHIMNEY FLUE AND CAP TO REMAIN, TYPICAL - PREPARE FOR NEW PAINT.
- NEW DOWNSPOUT - REFER TO FLOOR AND ROOF PLANS FOR ADDITIONAL INFORMATION - CONNECT TO EXISTING STORM WATER SYSTEM AT GRADE, TYPICAL.
- EXISTING UTILITY APPURTENANCE TO REMAIN.
- NEW GUTTER, TYPICAL.
- OPEN TO EXTERIOR BREEZEWAY (BEYOND).
- EXISTING GARAGE DOOR AND TRIM TO REMAIN - PREPARE FOR NEW PAINT.

EXTERIOR FINISH SCHEDULE

NOTE: FINAL EXTERIOR PAINT COLORS, SUBJECT TO OWNER MOCK-UP APPROVAL, WILL BE PROVIDED AS A SUPPLEMENT TO THESE CONTRACT DOCUMENTS, AND PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DESIGNATION:	BASIS-OF-DESIGN:	LOCATION / FINISH:
P-1	BODY COLOR No. 01 MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD	1. LAP SIDING 2. OUTSIDE / INSIDE CORNER TRIM 3. GARAGE DOOR
P-2	BODY COLOR No. 02 MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD	1. LAP SIDING 2. OUTSIDE / INSIDE CORNER TRIM 3. GARAGE DOOR
P-3	BODY ACCENT COLOR No. 01 MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD	1. LAP SIDING 2. OUTSIDE / INSIDE CORNER TRIM 3. PATIO DOORS AND DOOR TRIM 4. DOOR AND WINDOW TRIM
P-4	TRIM COLOR No. 01 MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD	1. DOOR AND WINDOW TRIM 2. FASCIA / BARGE TRIM 3. GUTTERS
P-5	TRIM COLOR No. 02 MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD	1. GUARDRAILS (WOOD AND METAL)
P-6	ACCENT COLOR No. 01 MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD	1. DWELLING UNIT ENTRY DOORS

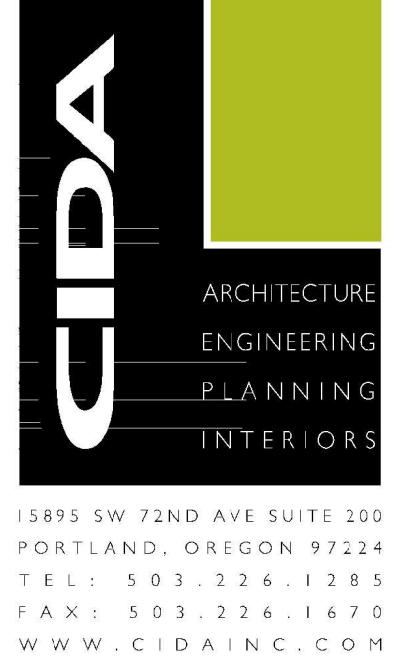
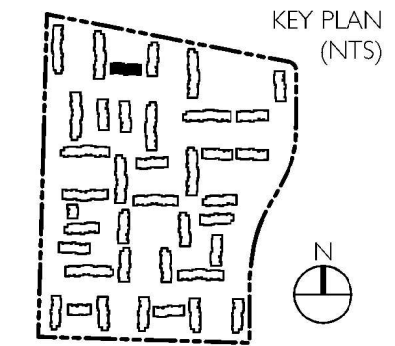
- GENERAL NOTES:
- DOWNSPOUT COLOR SHALL MATCH ADJACENT SUBSTRATE FINISH COLOR, UNLESS OTHERWISE INDICATED.
 - APPURTENANCES (ELECTRICAL, HVAC, ETC.) AND APPURTENANCE TRIM SHALL BE PAINTED TO MATCH ADJACENT SUBSTRATE FINISH COLOR.



12033
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STATE OF WASHINGTON

10/20/2021
1 PERMIT REVIEW SUBMITTAL 2020.05.18

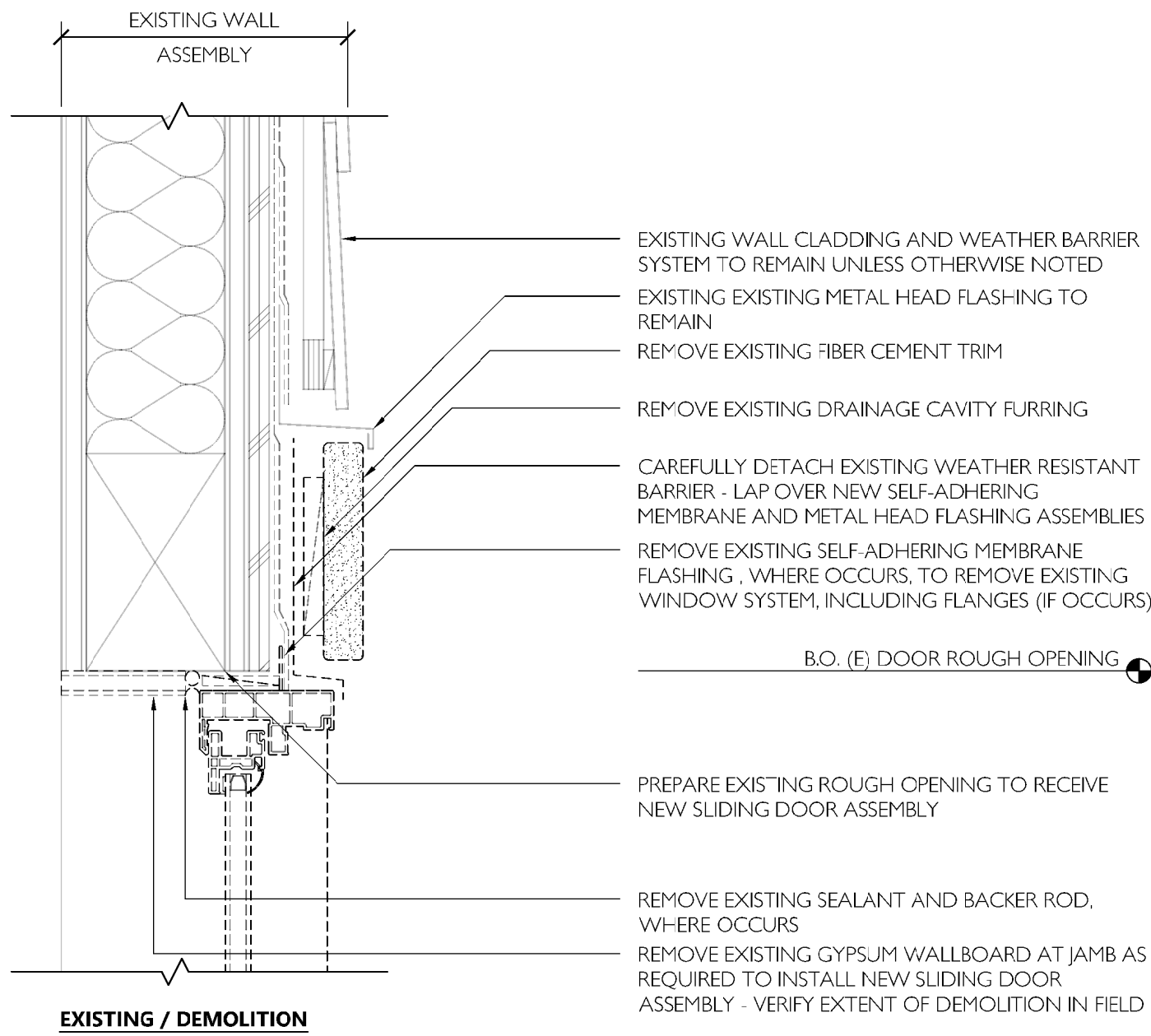
NOTE: CONTRACTOR SHALL VERIFY AND CORRECT ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN OR IMPLIED AND NOTIFY ARCHITECT AND/OR ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES PRIOR TO START OF WORK.



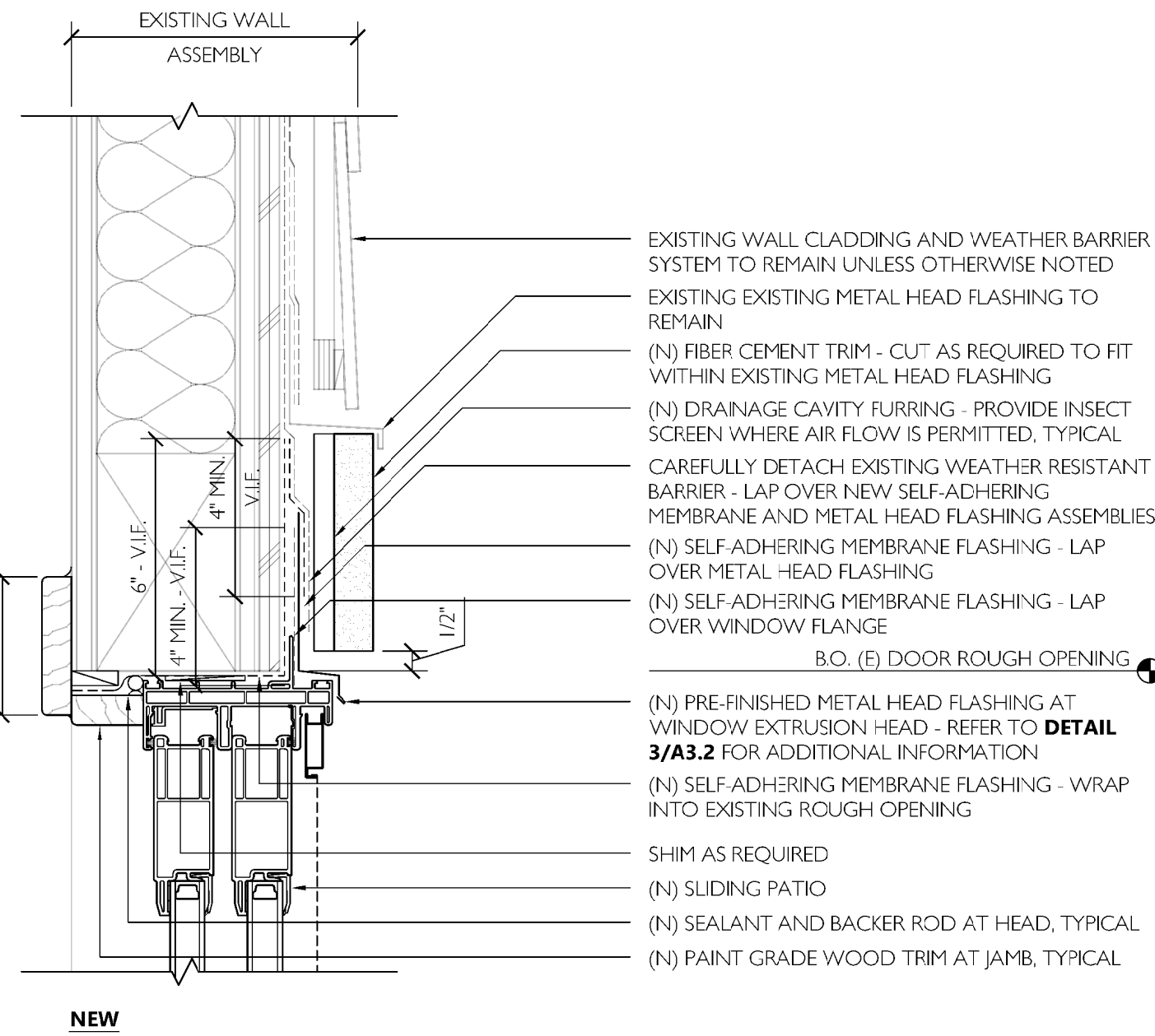
RENOVATION FOR:
FISHERS MILL APARTMENTS: BUILDING H
1000 SE 160TH AVE
VANCOUVER, WASHINGTON 98683

EXTERIOR ELEVATIONS

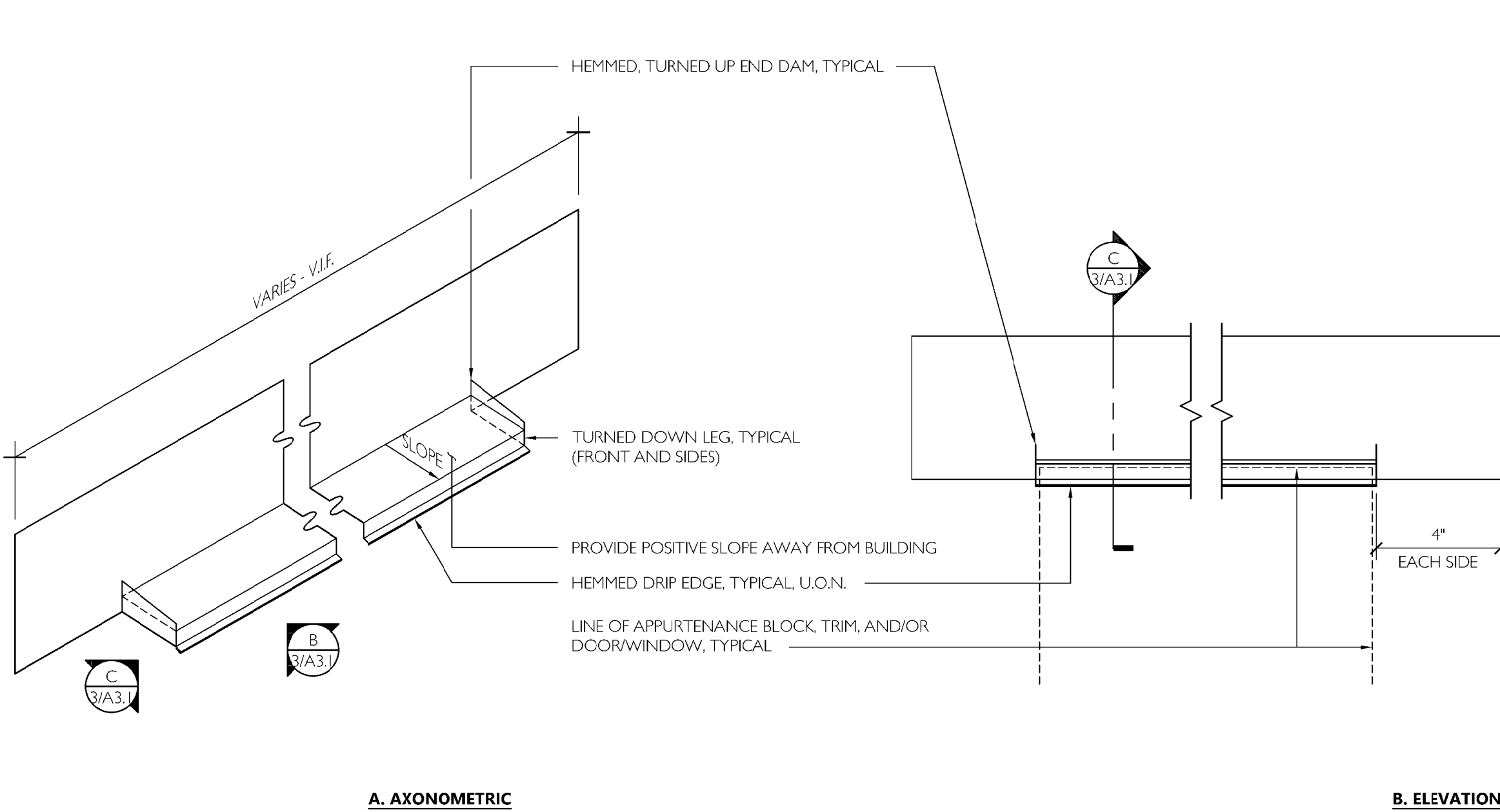
A2.1
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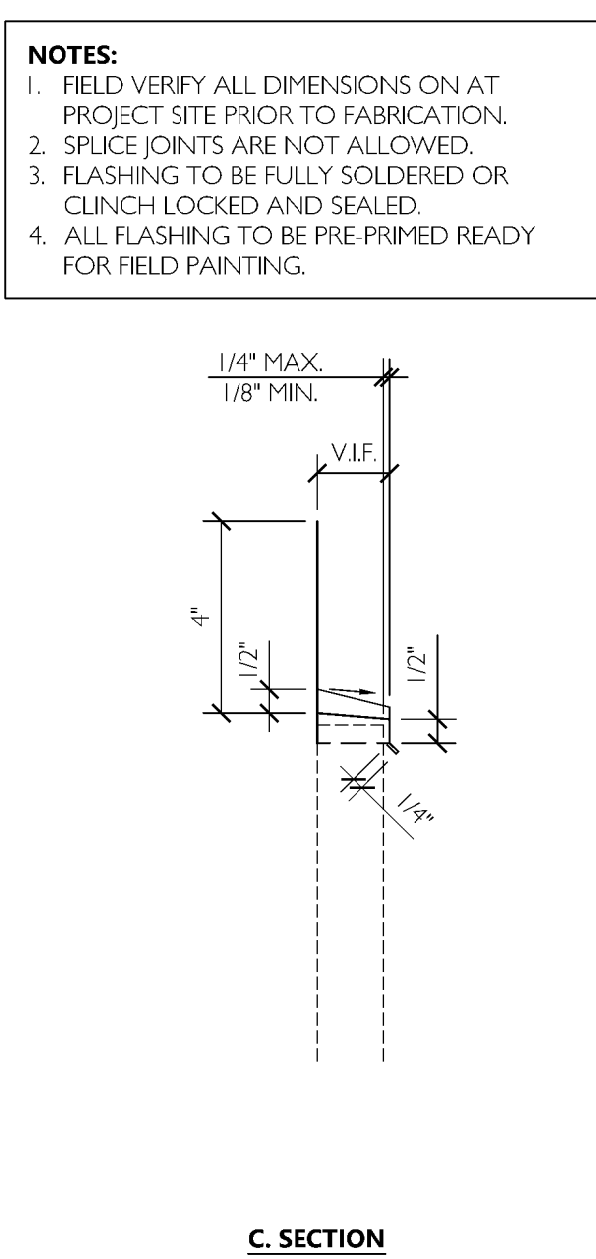
EXISTING / DEMOLITION



NEW



A. AXONOMETRIC



B. ELEVATION

C. SECTION

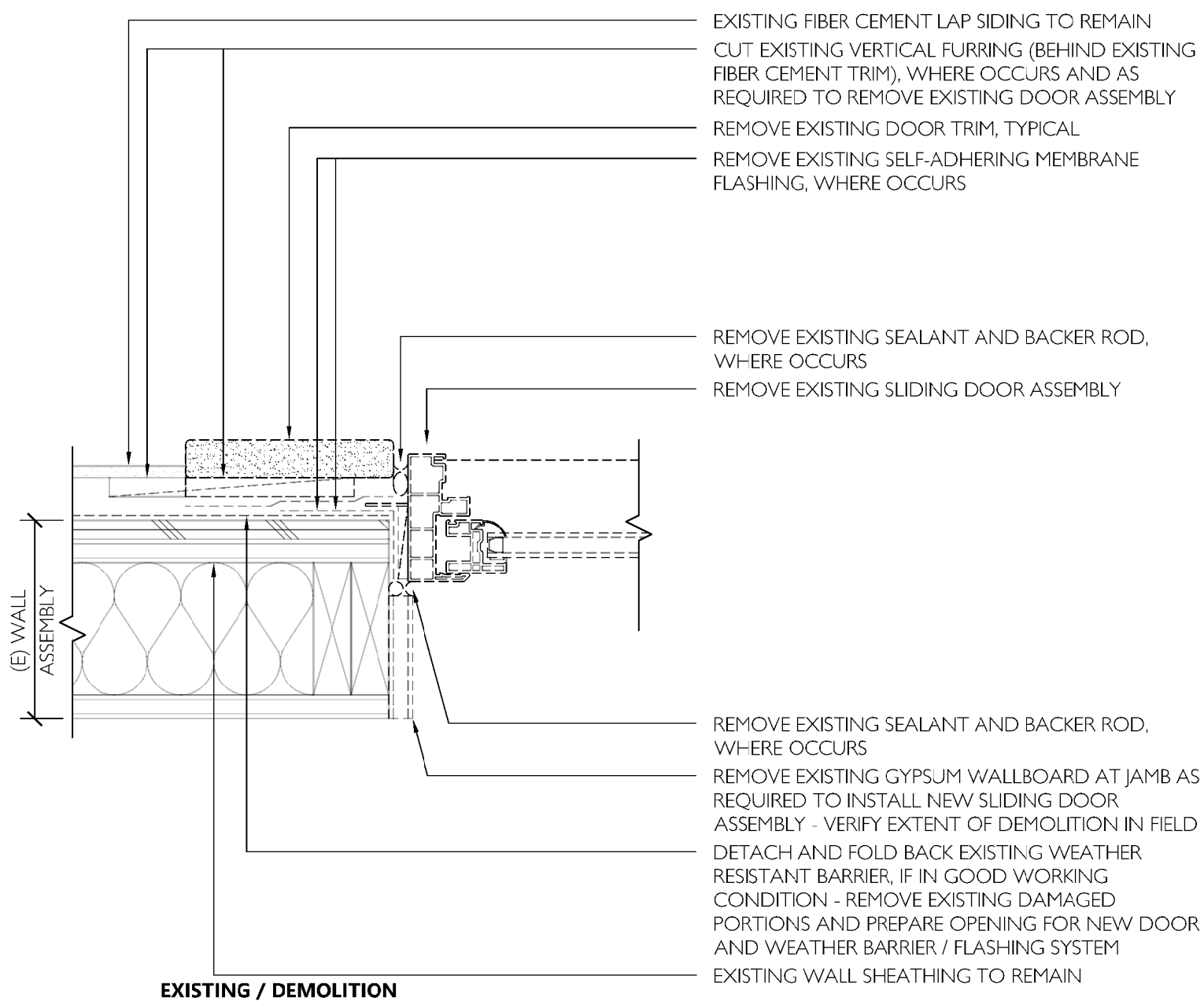
NOTES:
1. FIELD VERIFY ALL DIMENSIONS ON AT PROJECT SITE PRIOR TO FABRICATION.
2. SPLICE JOINTS ARE NOT ALLOWED.
3. FLASHING TO BE FULLY SOLDERED OR CLINCH LOCKED AND SEALED.
4. ALL FLASHING TO BE PRE-PRIMED READY FOR FIELD PAINTING.

1
A3.1 **DETAIL - TYPICAL SLIDING PATIO DOOR - HEAD**
3" = 1'-0"

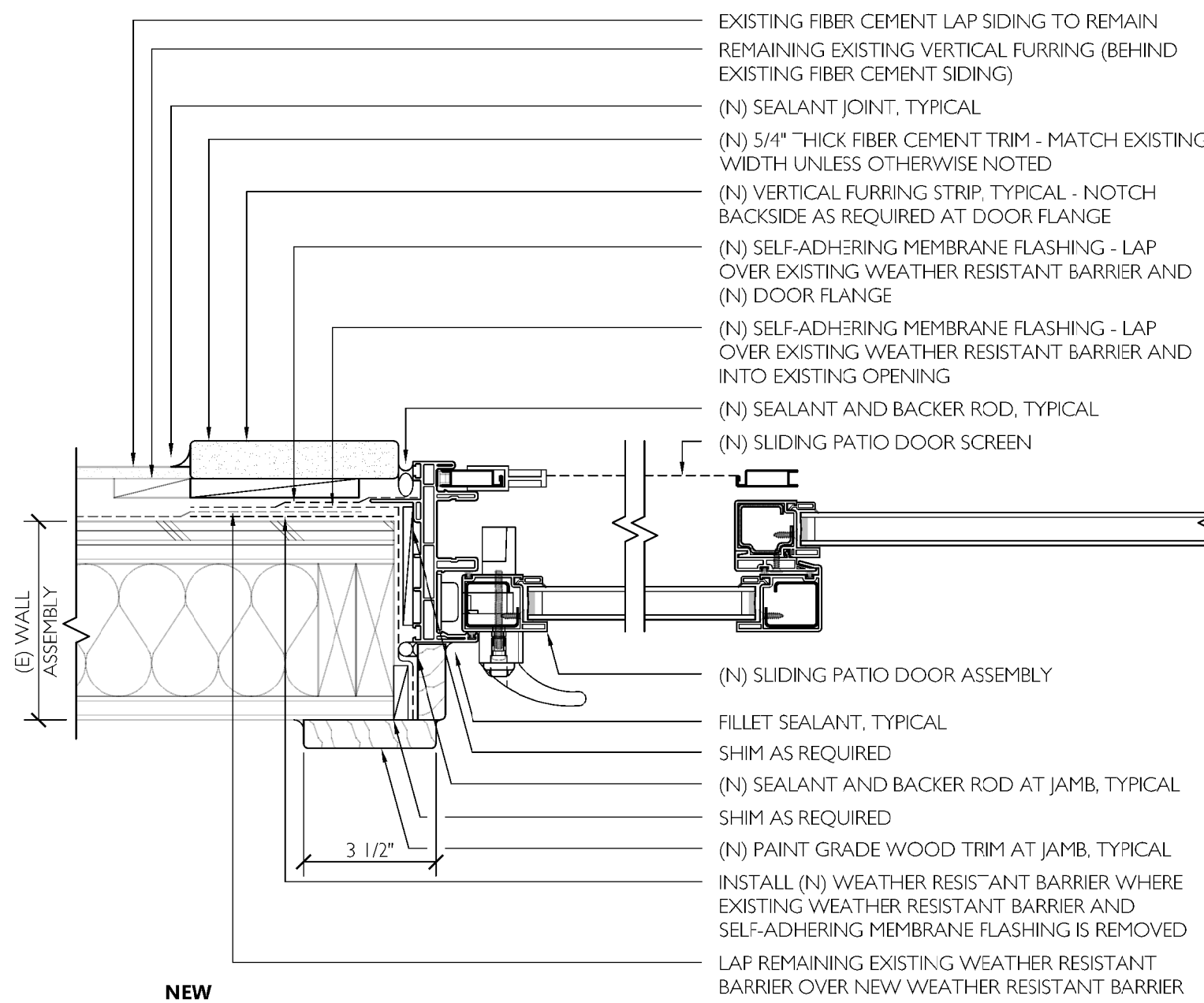
(SECTION)

3
A3.1 **DETAIL - SLIDING DOOR HEAD FLASHING**
3" = 1'-0"

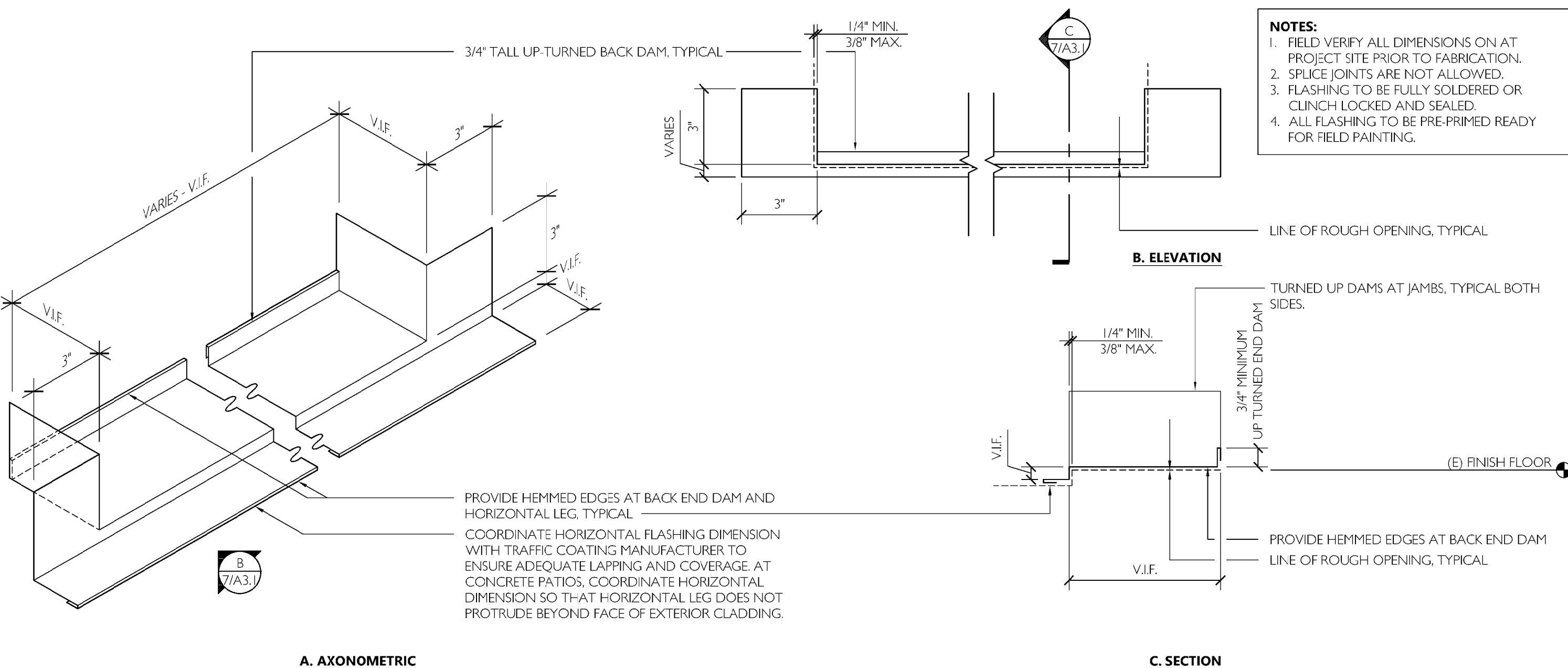
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EXISTING / DEMOLITION



NEW



A. AXONOMETRIC

B. ELEVATION

C. SECTION

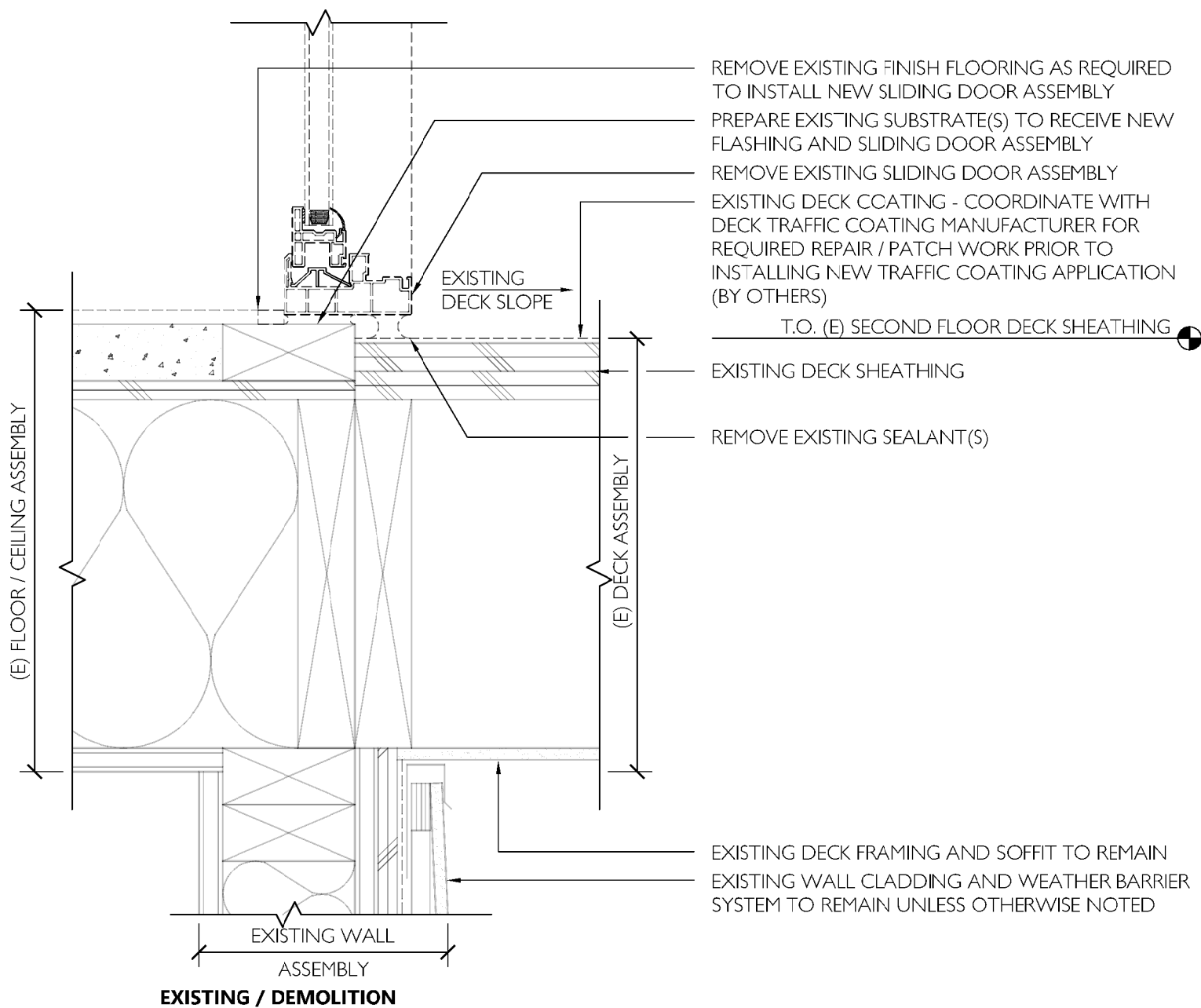
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4. ALL FLASHING TO BE PRE-PRIMED READY FOR FIELD PAINTING.

5
A3.1 **DETAIL - TYPICAL SLIDING PATIO DOOR - JAMB**
3" = 1'-0"

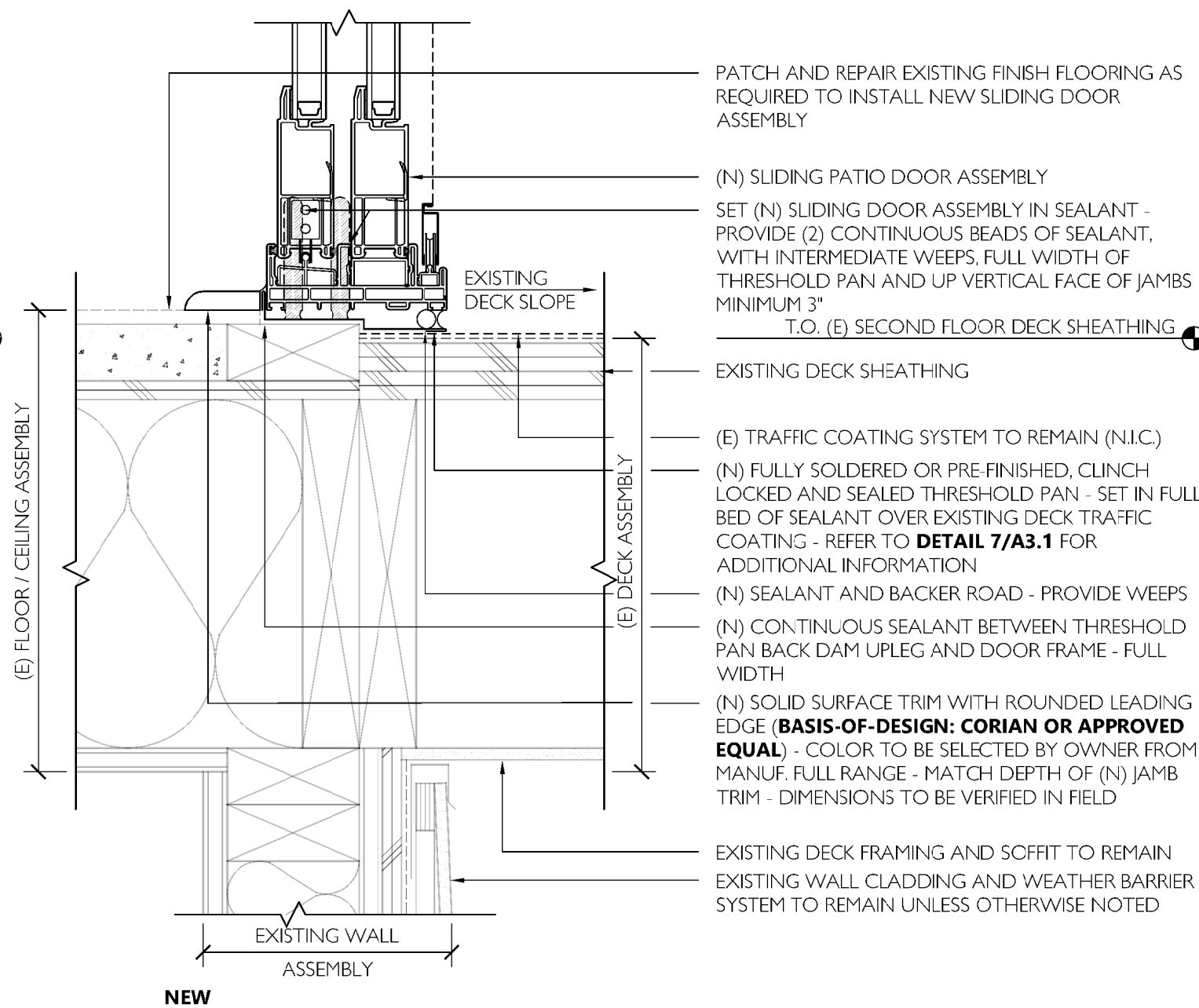
(SECTION)

7
A3.1 **DETAIL - SLIDING PATIO DOOR - THRESHOLD PAN**
3" = 1'-0"

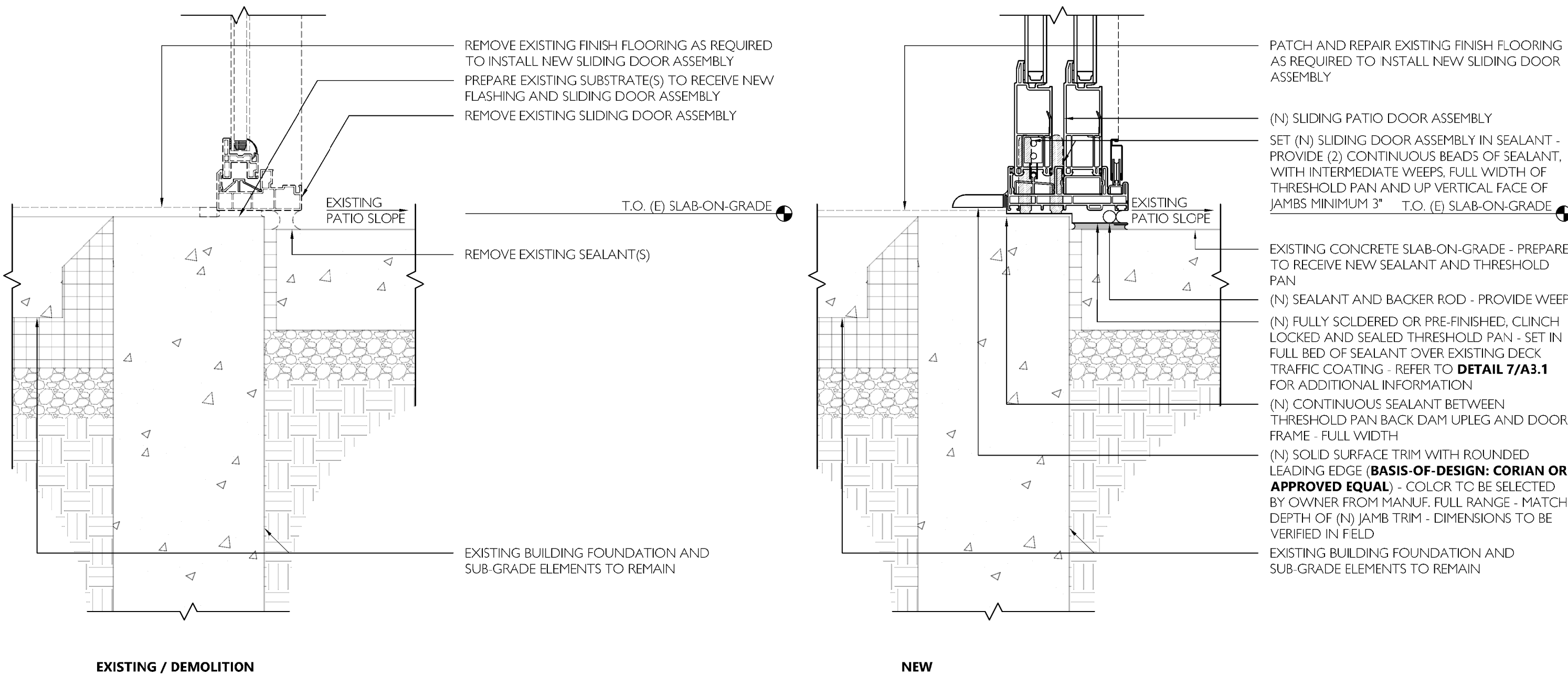
(SECTION)



EXISTING / DEMOLITION



NEW



EXISTING / DEMOLITION

NEW

NOTES:
1. FIELD VERIFY ALL DIMENSIONS ON AT PROJECT SITE PRIOR TO FABRICATION.
2. SPLICE JOINTS ARE NOT ALLOWED.
3. FLASHING TO BE FULLY SOLDERED OR CLINCH LOCKED AND SEALED.
4. ALL FLASHING TO BE PRE-PRIMED READY FOR FIELD PAINTING.

9
A3.1 **DETAIL - TYPICAL SLIDING PATIO DOOR - THRESHOLD**
3" = 1'-0"

(SECTION)

11
A3.1 **DETAIL - TYPICAL SLIDING PATIO DOOR - THRESHOLD**
3" = 1'-0"

(SECTION)

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STATE OF WASHINGTON

ISSUED DATE
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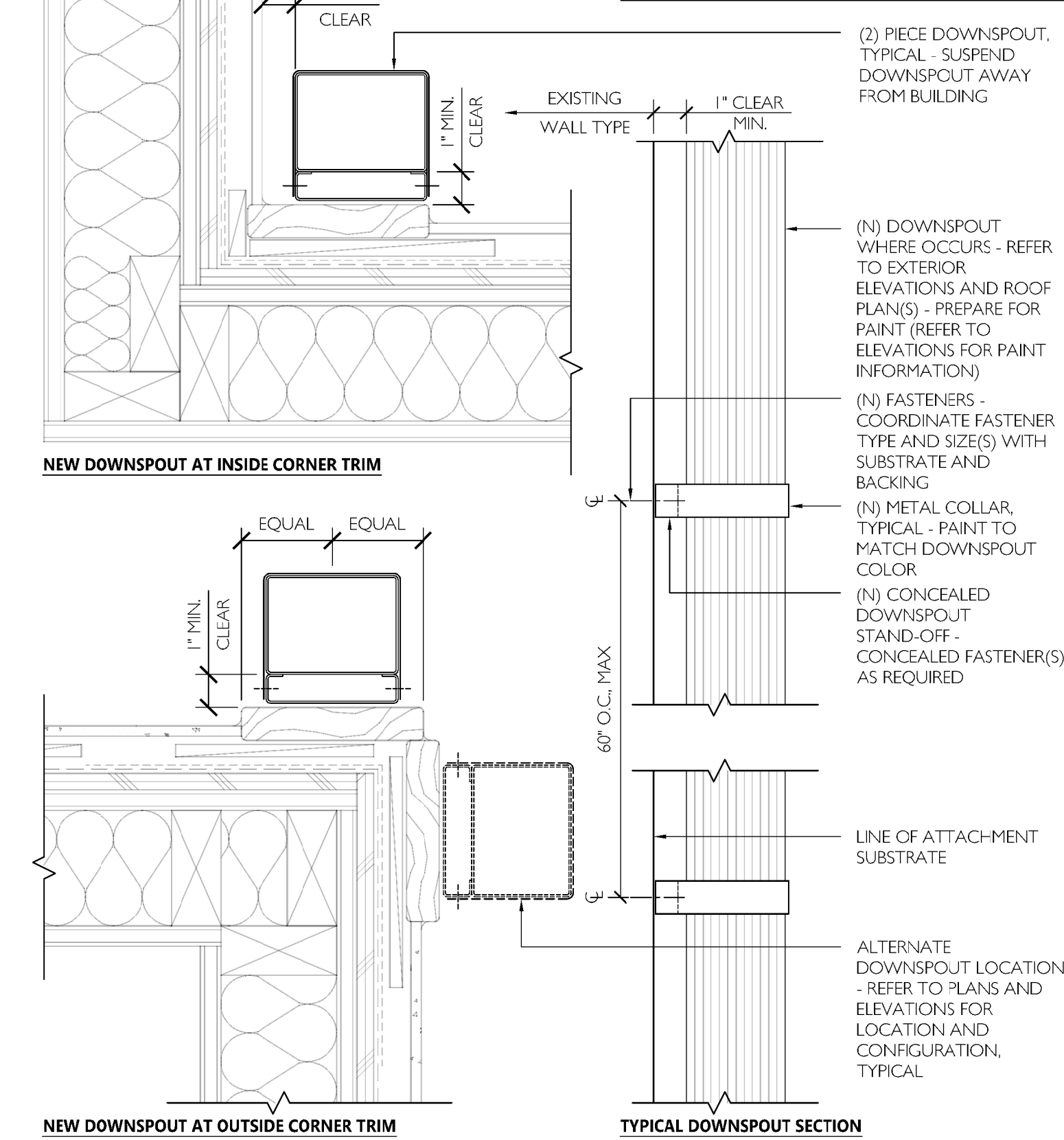
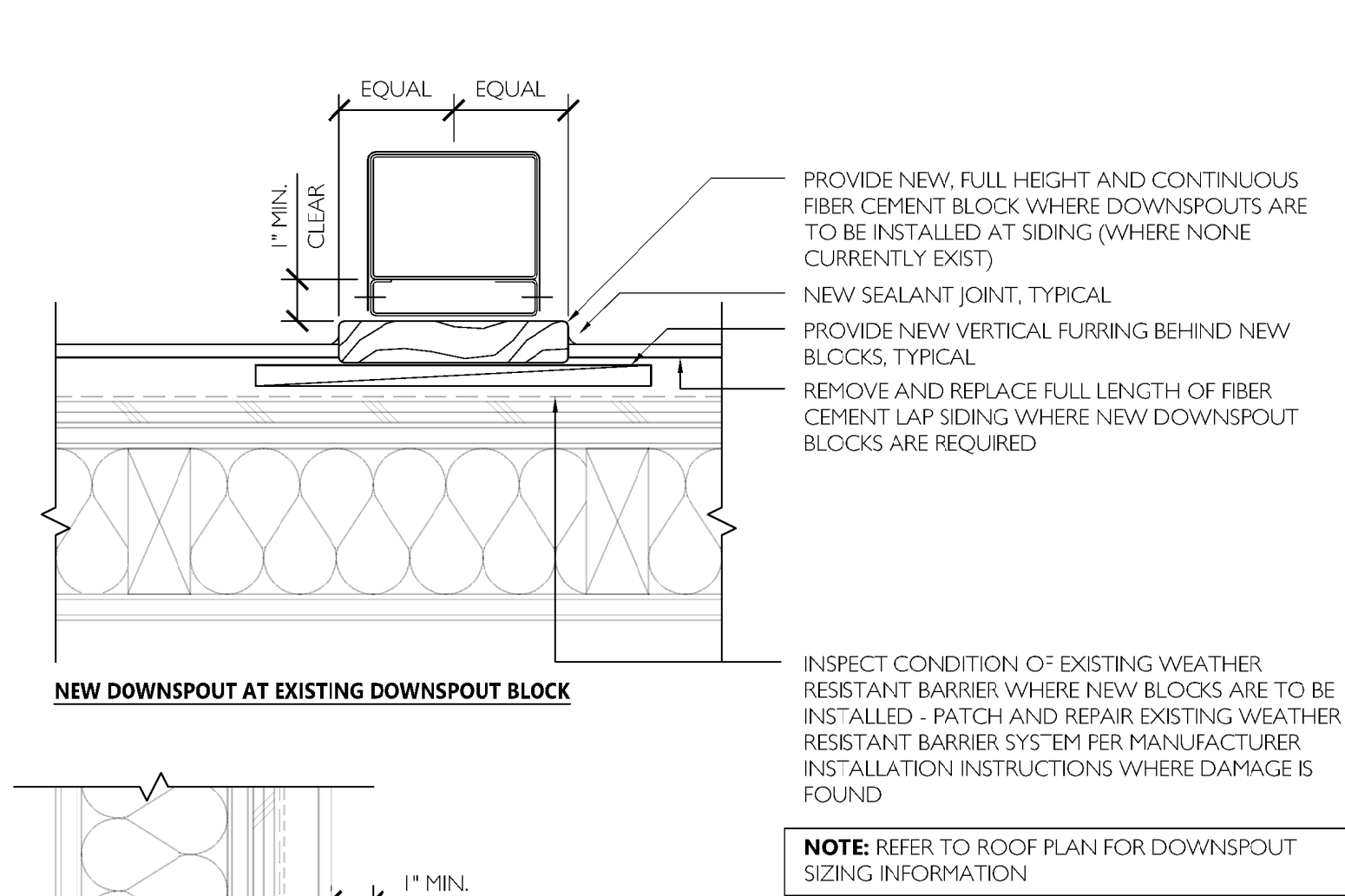
KEY PLAN
(NTS)

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PLANNING
INTERIORS
15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1478
WWW.CIDAINC.COM

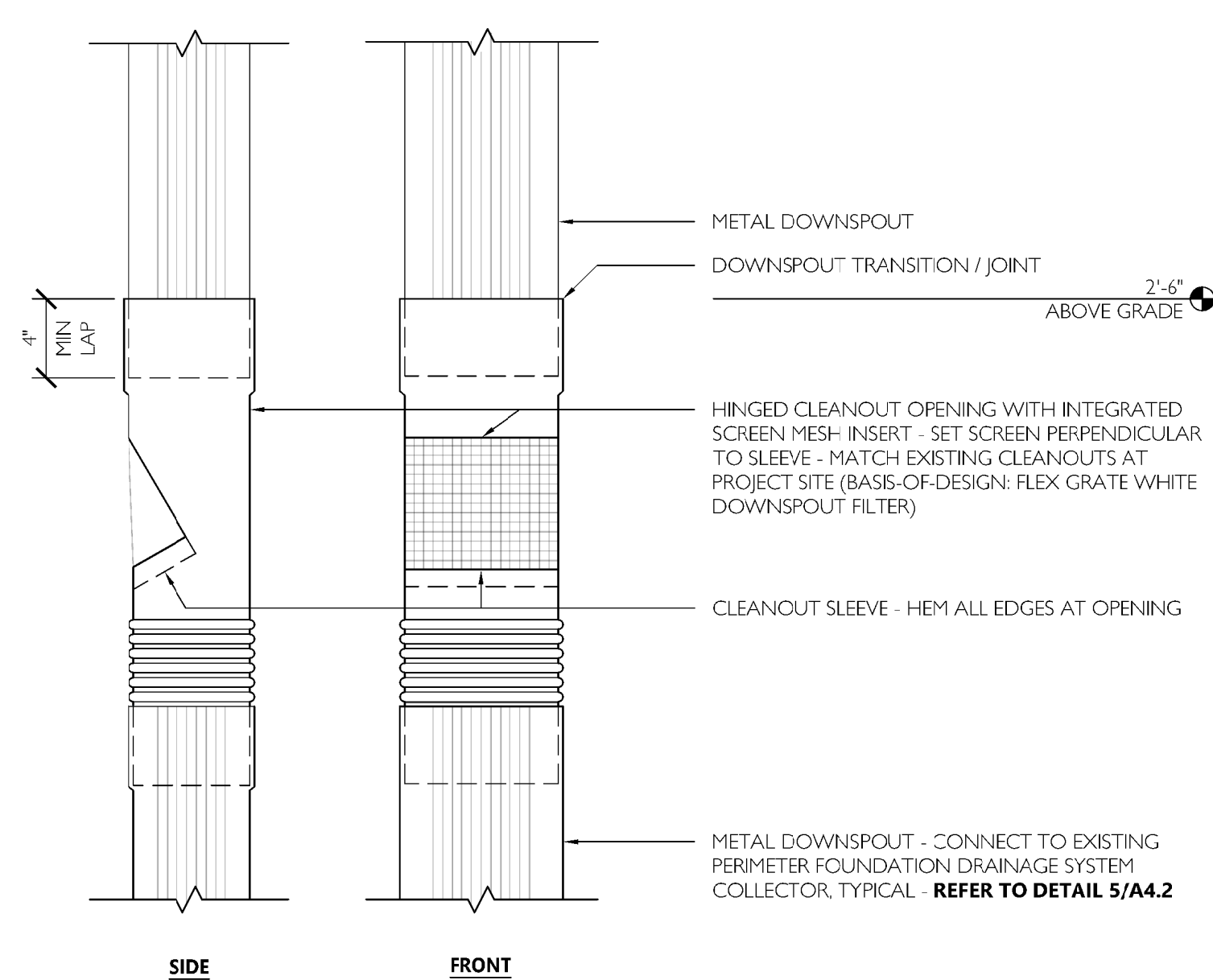
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DETAILS - DOORS
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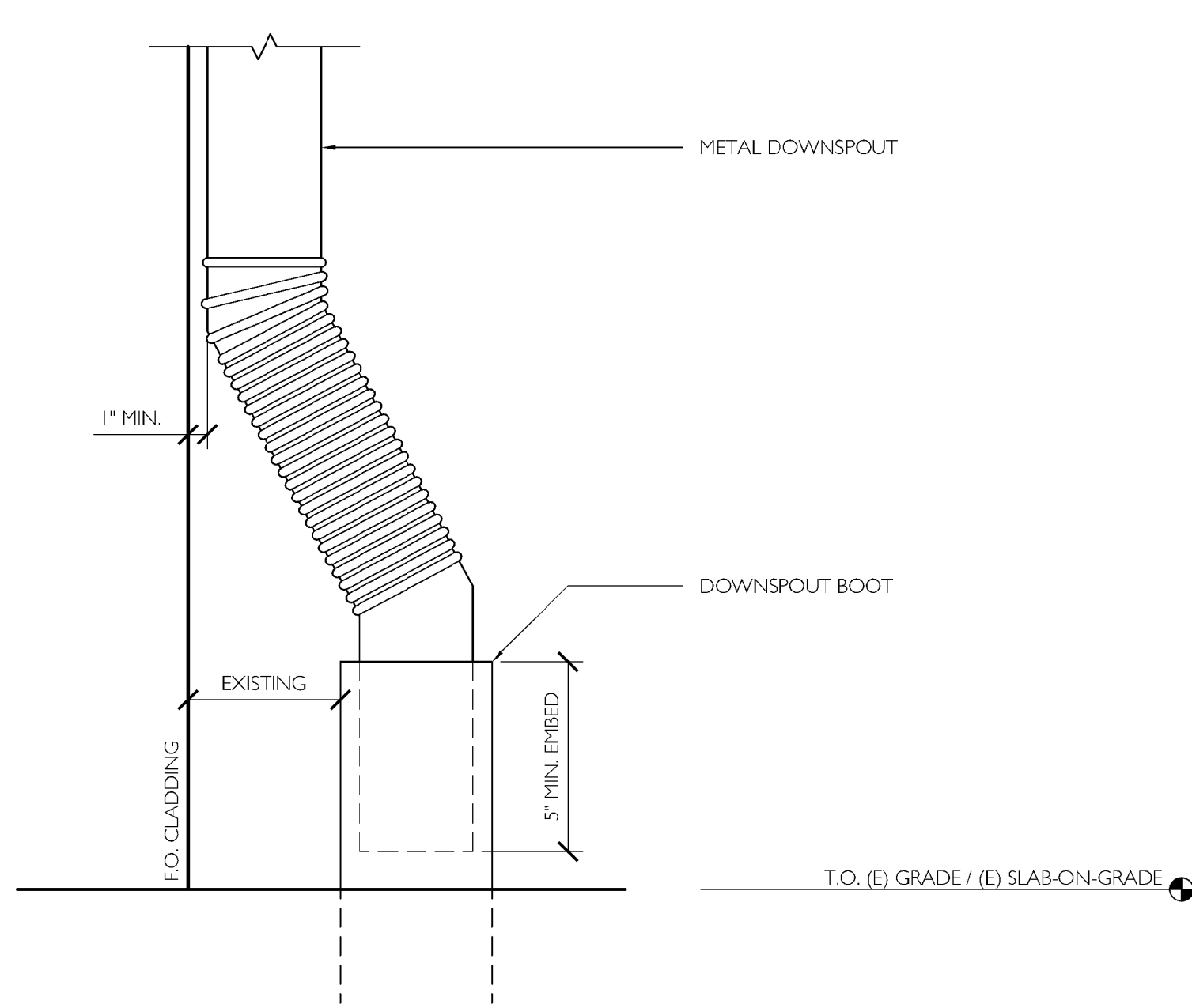
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1:120mm



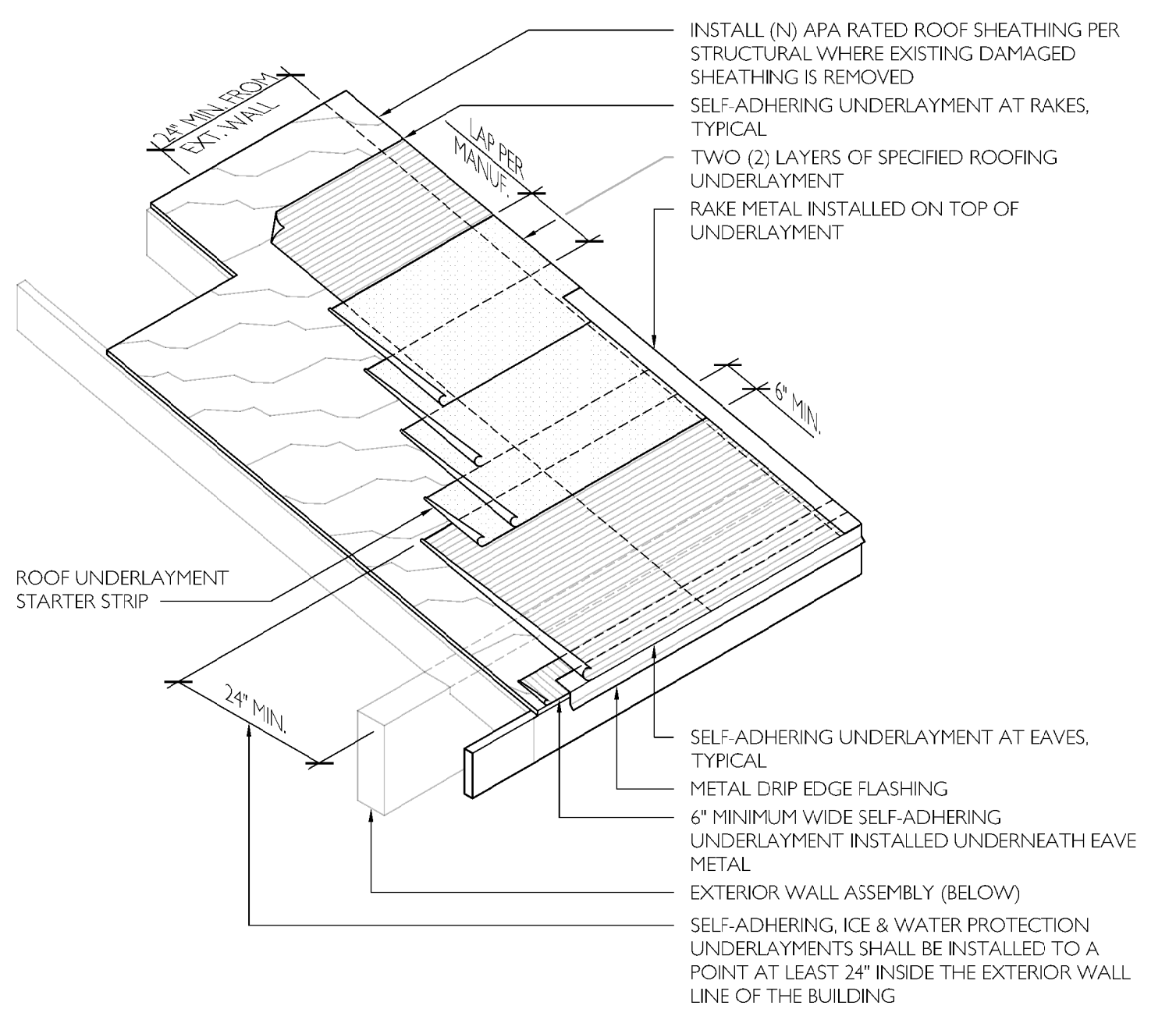
4
A4.2 **DETAIL - TYPICAL DOWNSPOUT ATTACHMENTS**
3" = 1'-0" (SECTION)



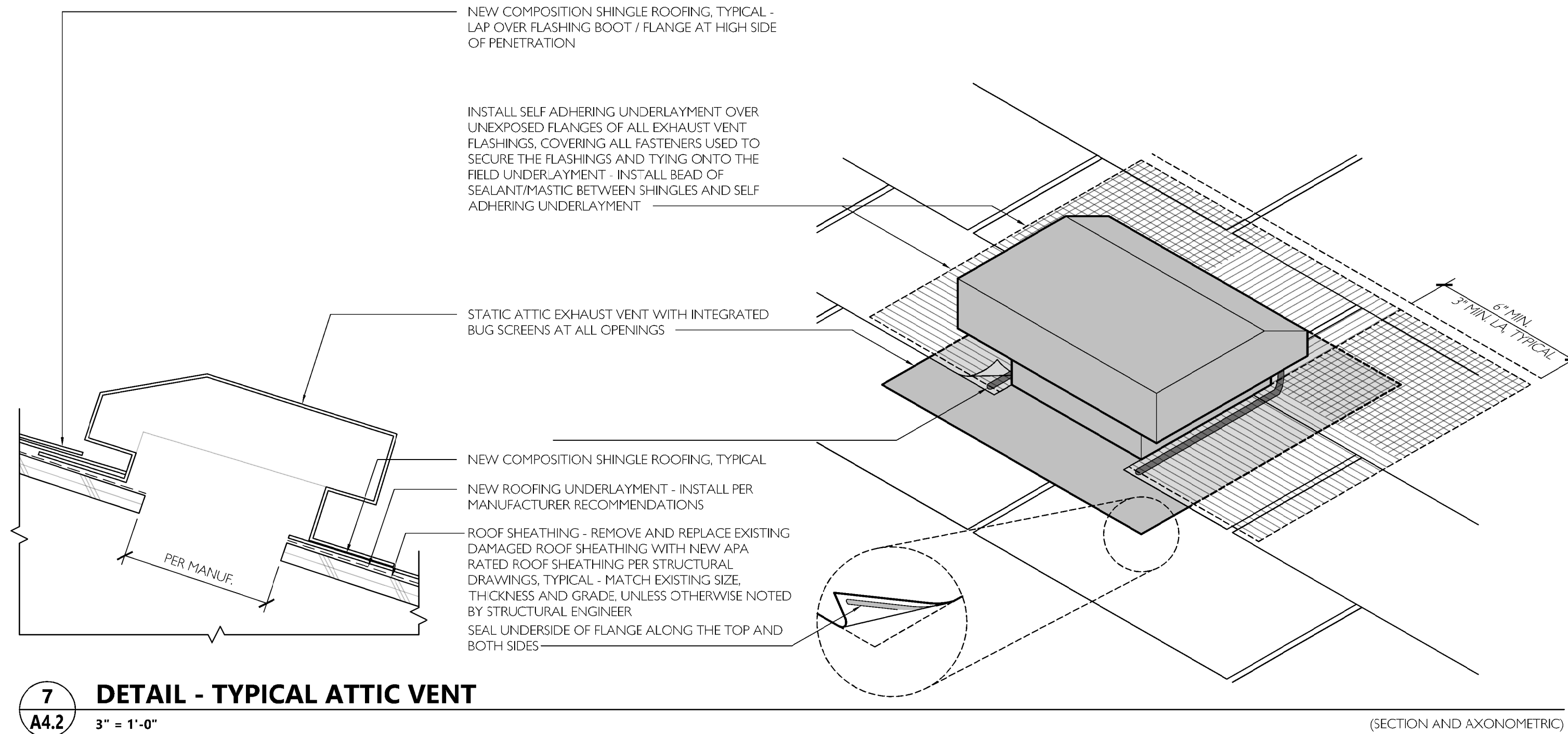
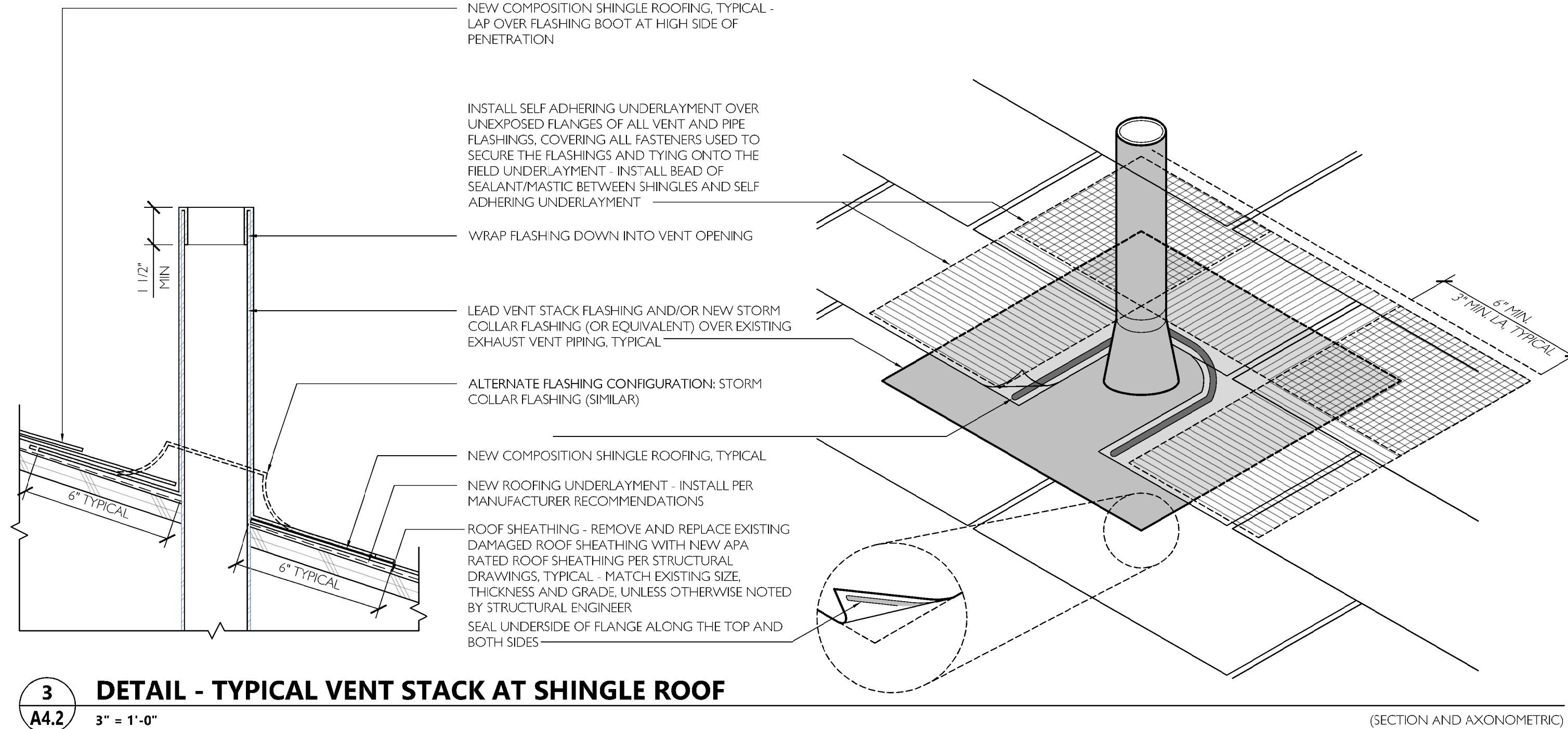
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A4.2 **DETAIL - TYPICAL DOWNSPOUT CLEANOUT**
3" = 1'-0" (ELEVATION AND SECTION)



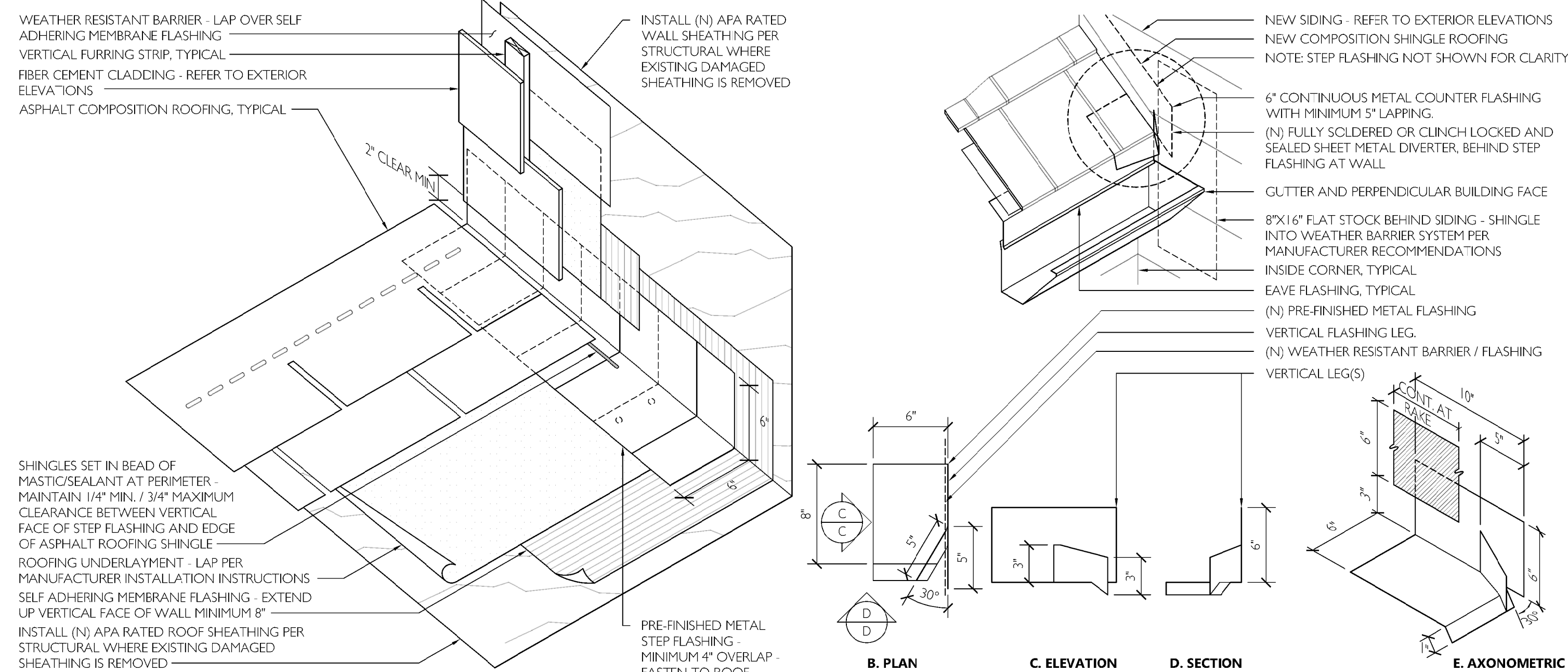
5
A4.2 **DETAIL - TYPICAL DOWNSPOUT COLLECTOR**
3" = 1'-0" (SECTION)



10
A4.2 **DETAIL - TYPICAL ROOFING AXONOMETRIC**
NOT TO SCALE (AXONOMETRIC)



7
A4.2 **DETAIL - TYPICAL ATTIC VENT**
3" = 1'-0" (SECTION AND AXONOMETRIC)



11
A4.2 **DETAIL - TYPICAL STEP FLASHING**
1 1/2" = 1'-0" (AXONOMETRIC)



12
A4.2 **DETAIL - TYPICAL DIVERTER FLASHING**
1 1/2" = 1'-0" (AXONOMETRIC)

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REGISTERED ARCHITECT
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STATE OF WASHINGTON

ISSUED DATE: 11 PERMIT REVIEW SUBMITTAL: 2020.05.18

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KEY PLAN (NTS)

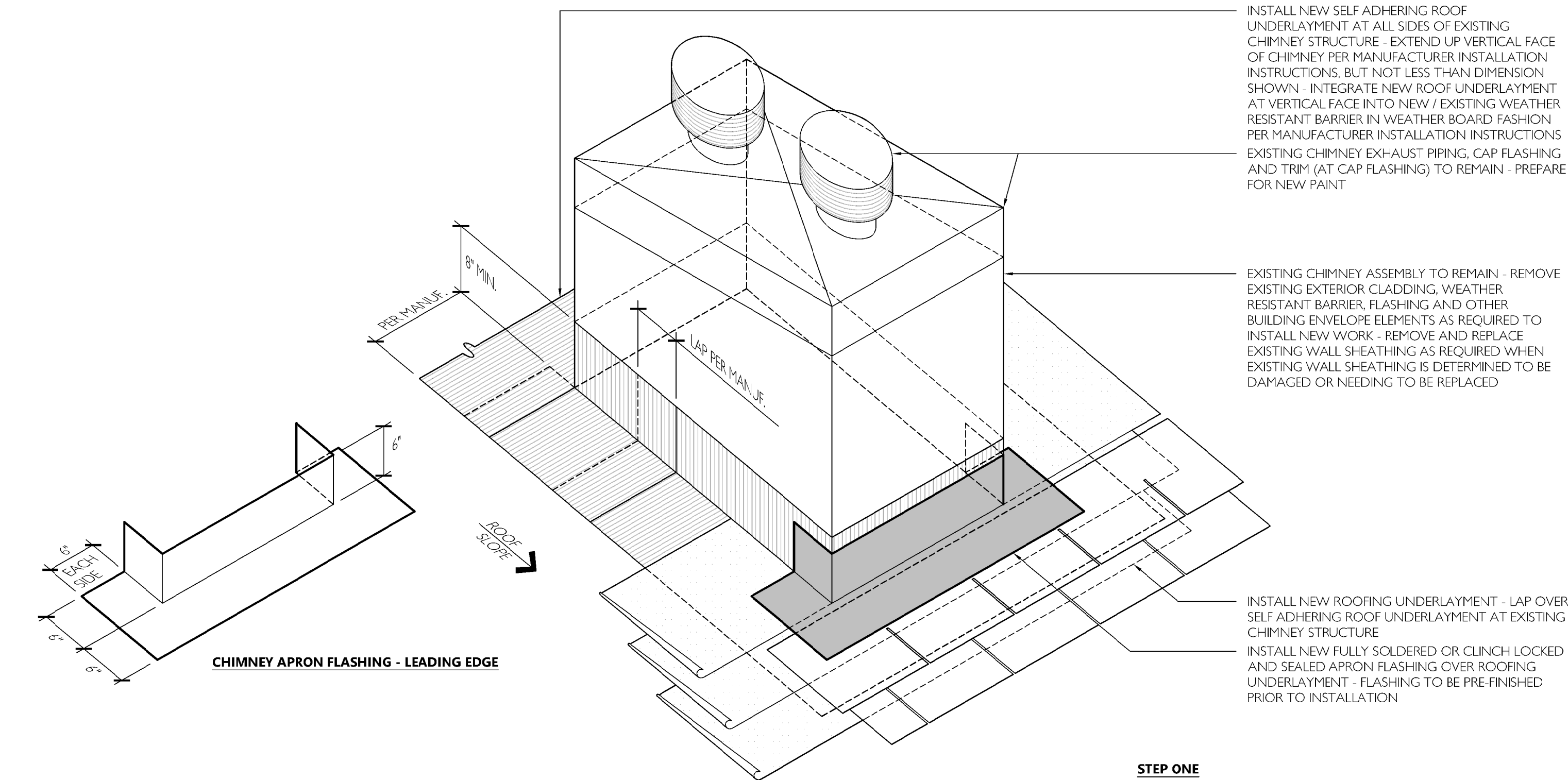
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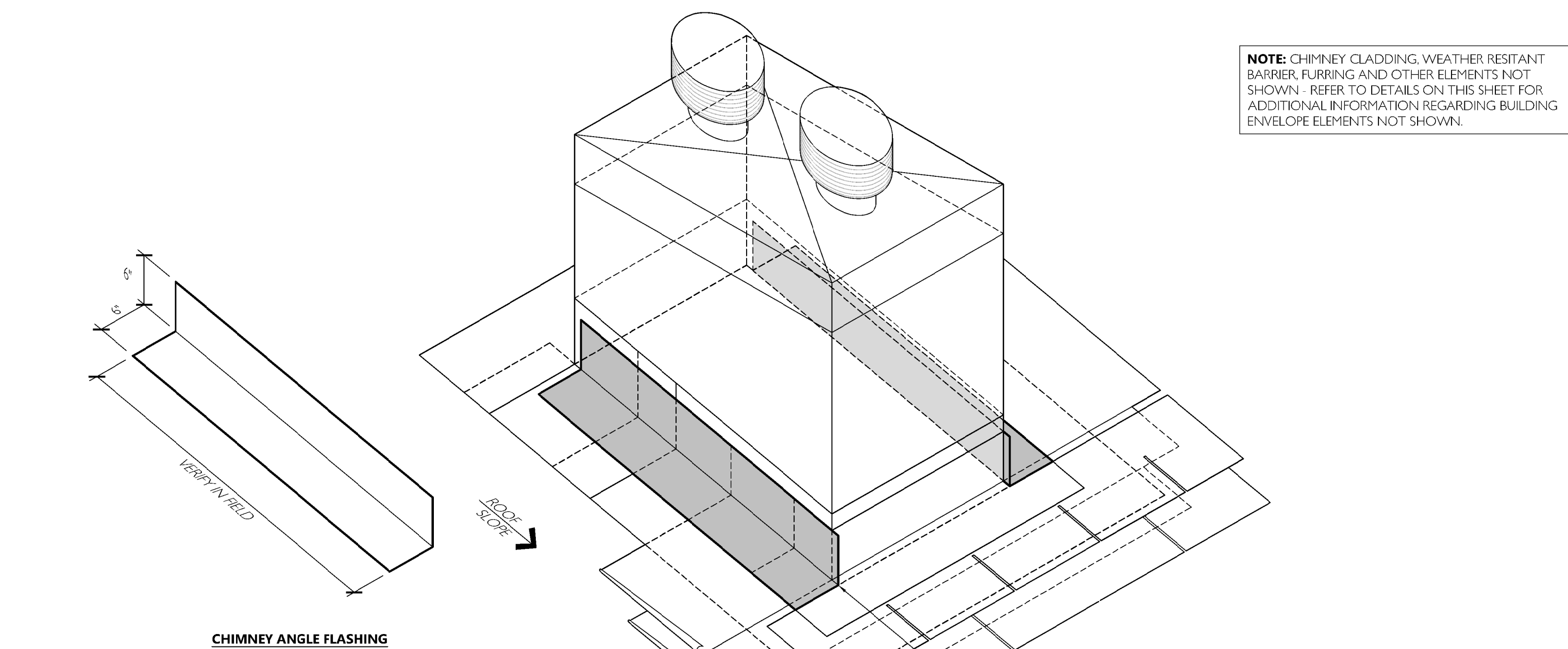
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DETAILS - ROOF

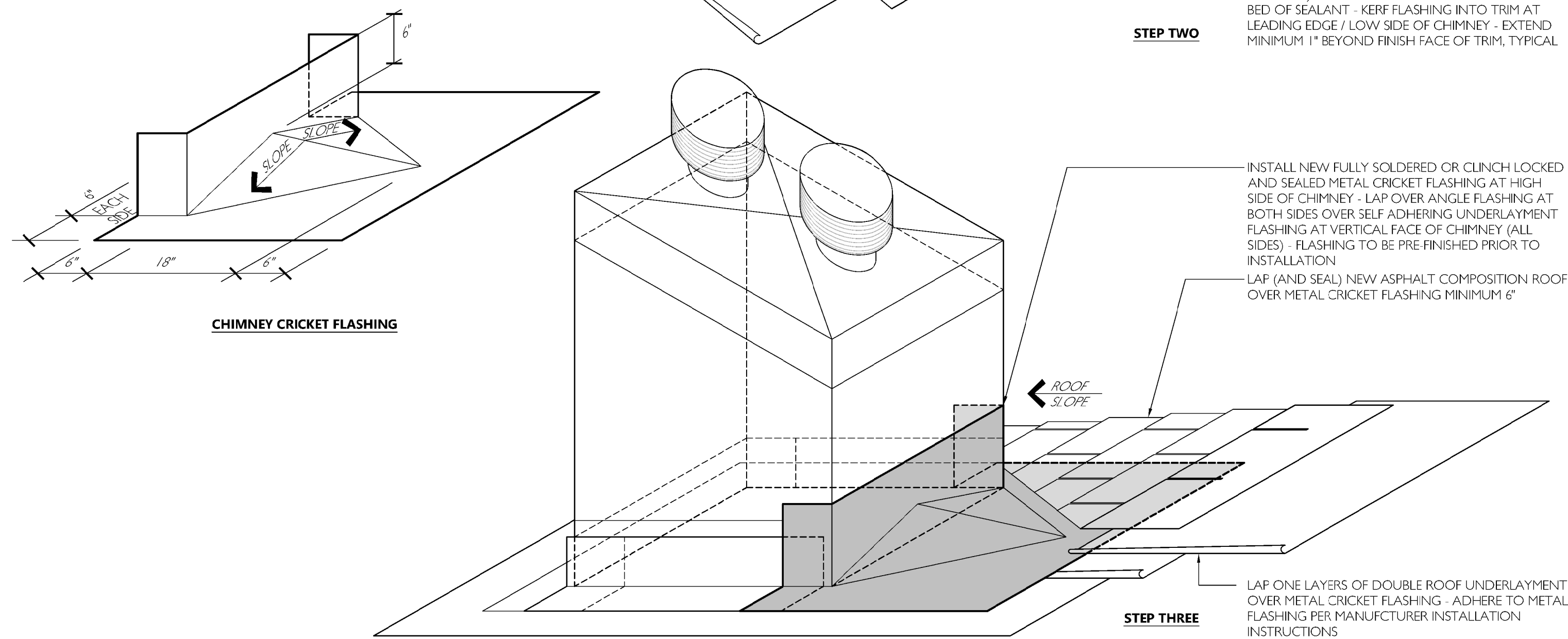
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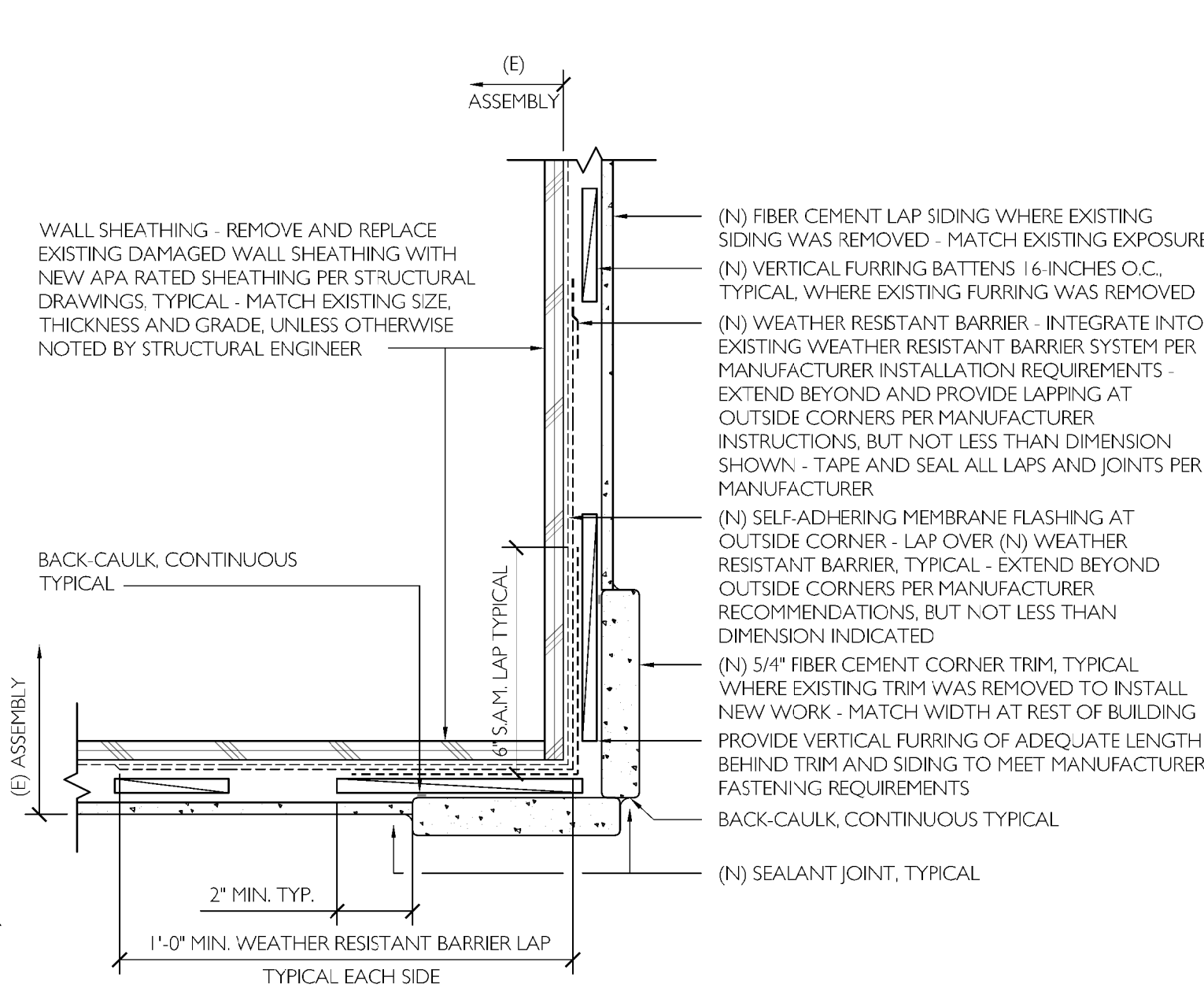
STEP ONE



STEP TWO



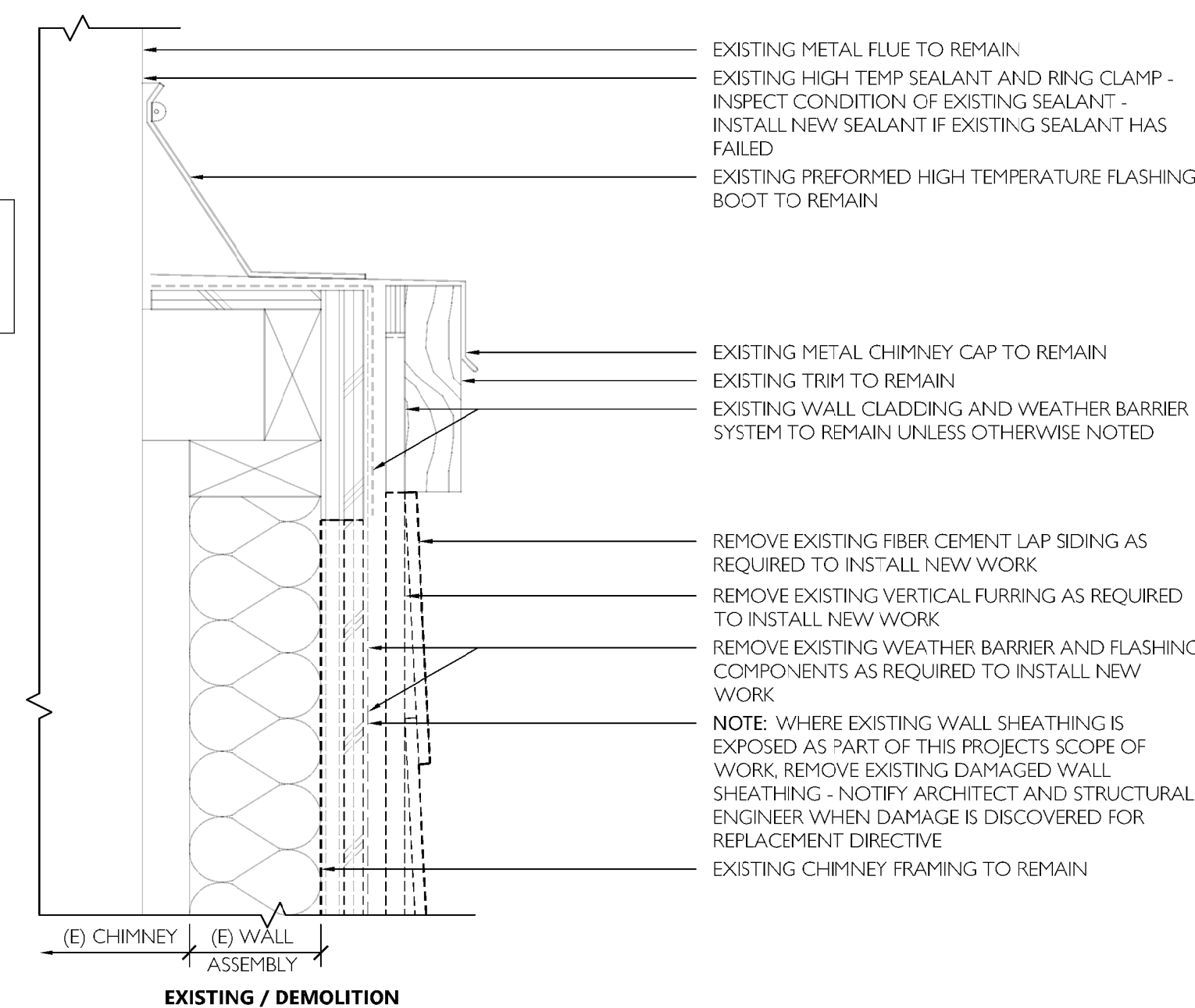
STEP THREE



3 DETAIL - OUTSIDE CORNER TRIM

3" = 1'-0"

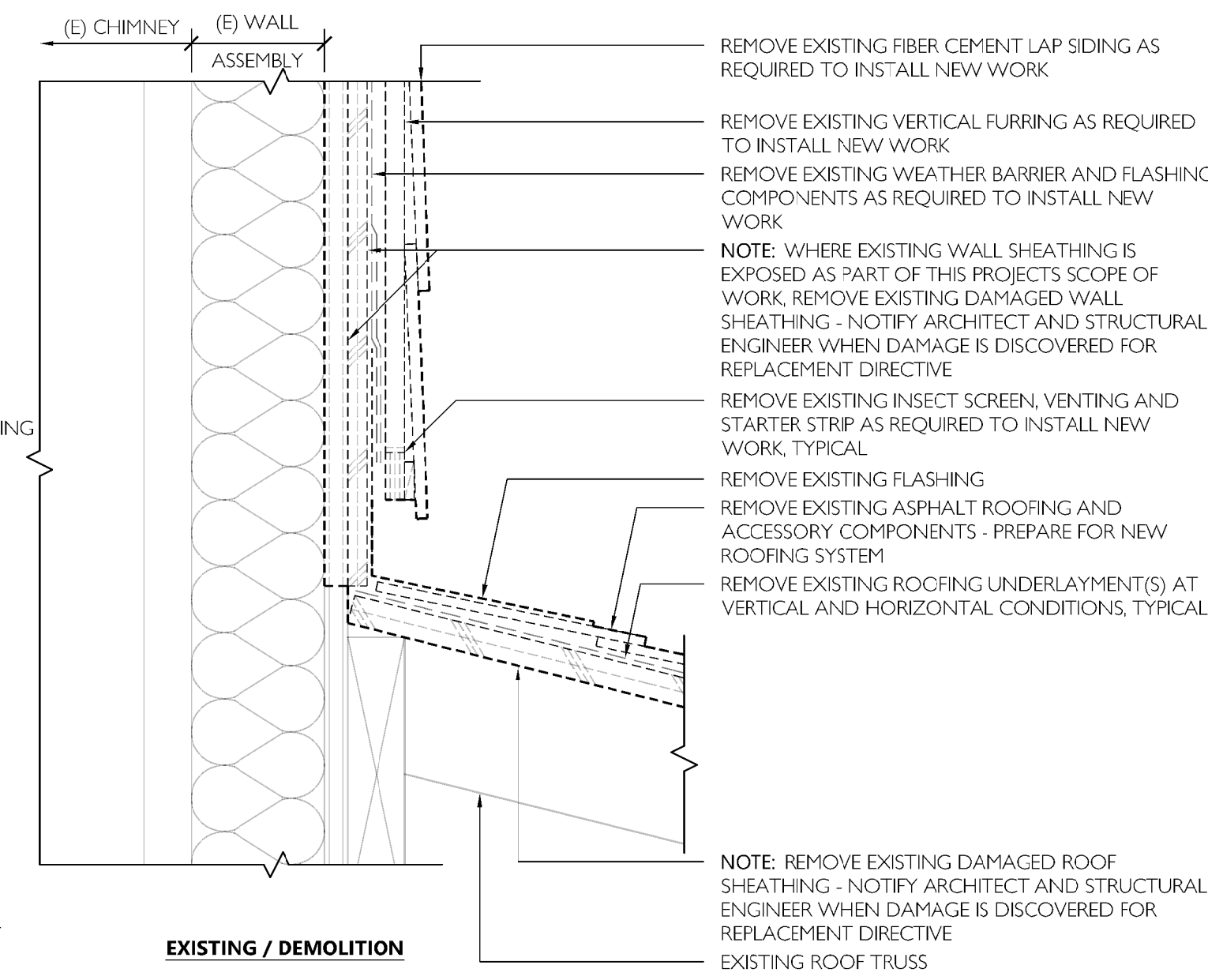
(PLAN



7 DETAIL - SIDING AT CHIMNEY CAP FLASHING

3" = 1'-0"

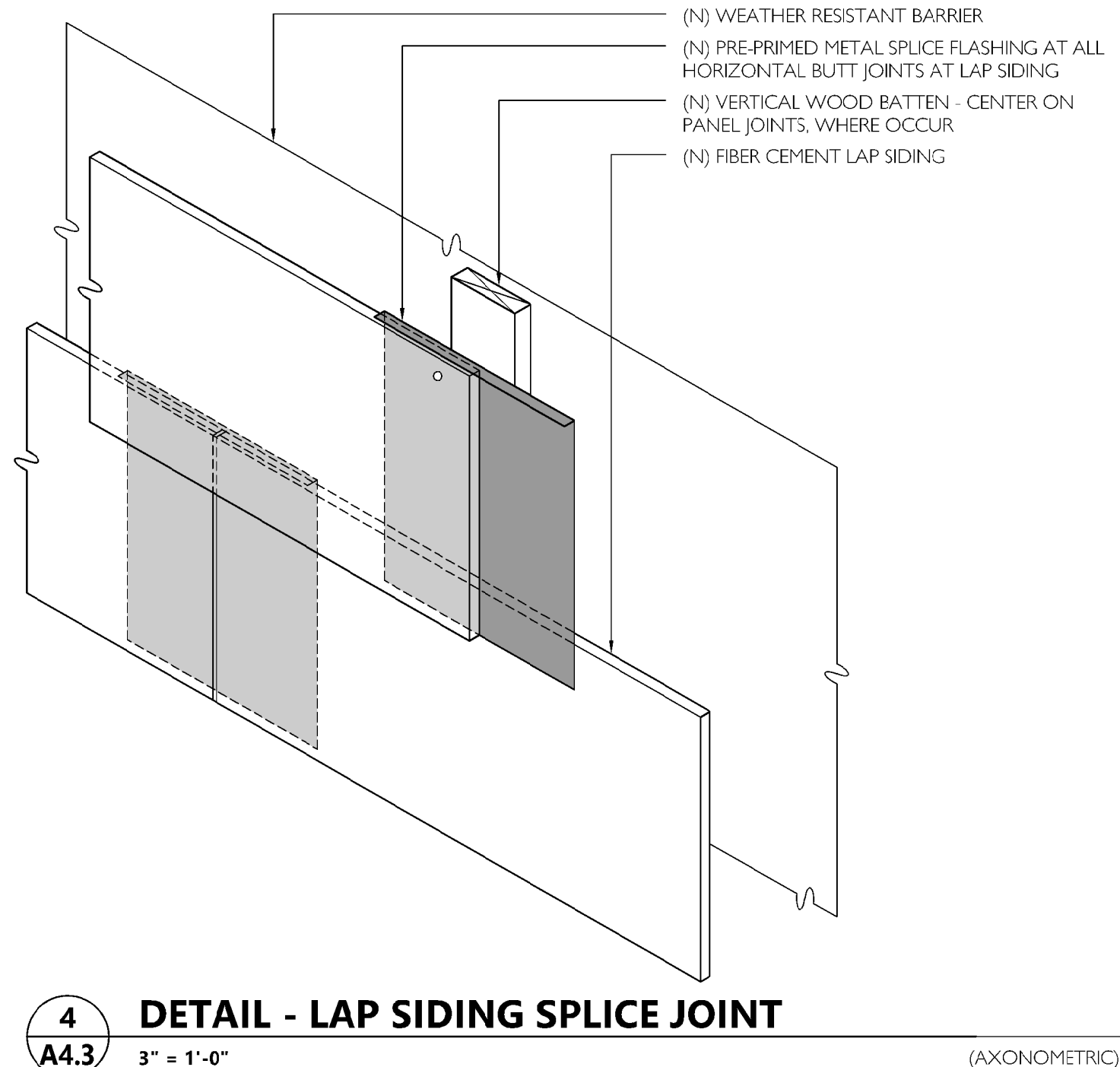
(SECTION)



11 DETAIL - TYPICAL ROOF TO WALL TRANSITION

3" = 1'-0"

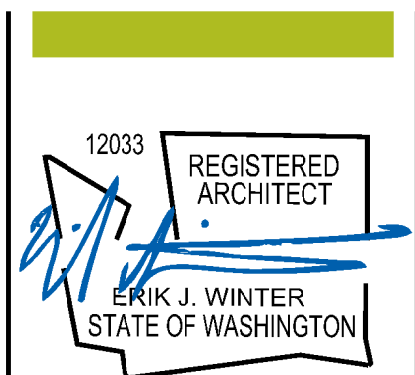
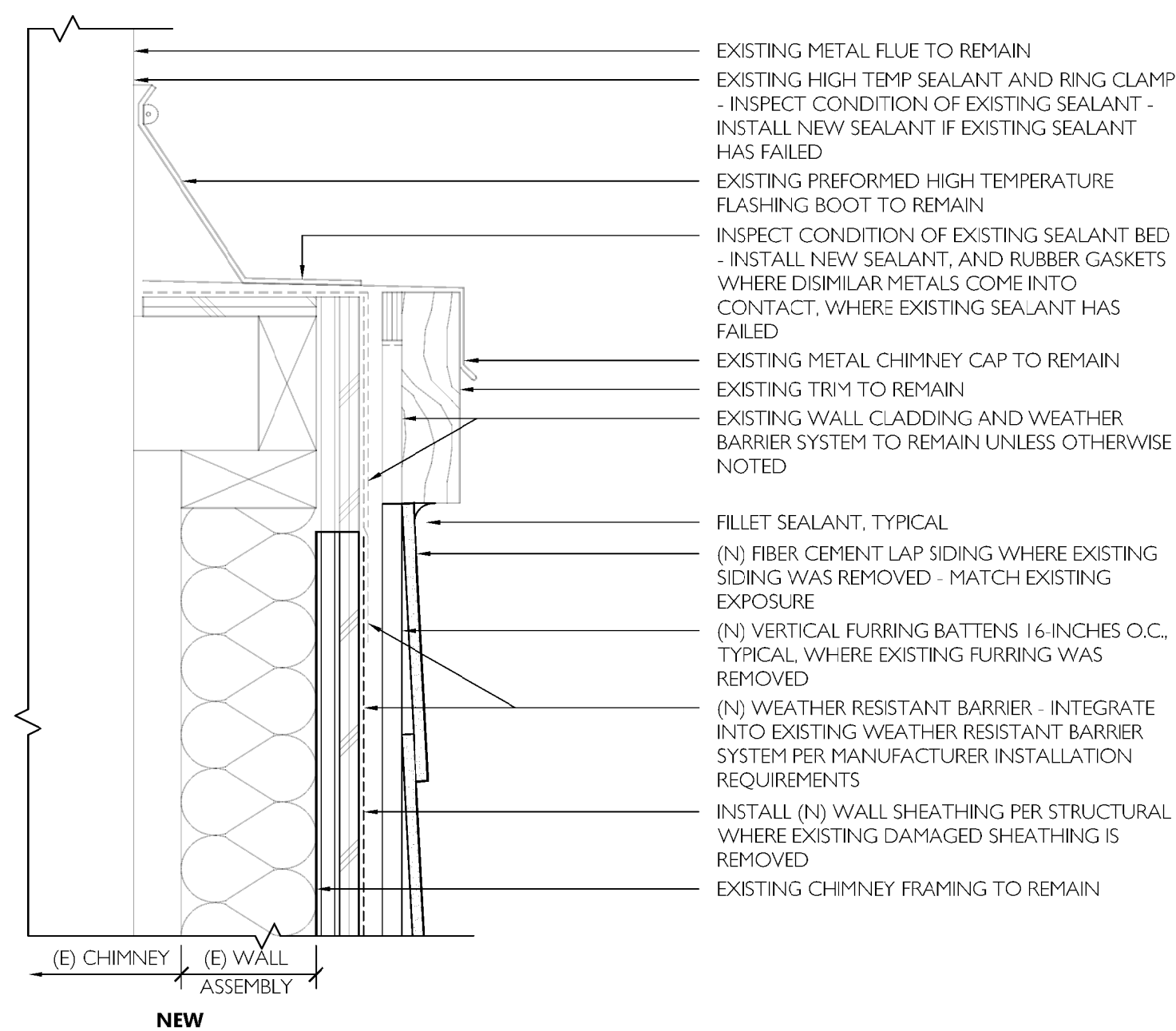
(SECTION)



4 DETAIL - LAP SIDING SPLICE JOINT

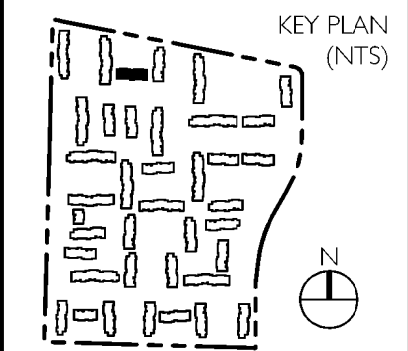
A4.3 $3'' = 1'-0''$

(AXONOMETRIC)



ISSUED DATE | PERMIT REVIEW SUBMITTAL: 2020.03.18

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DETAILS - ROOF

A4.3

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